

Davis Spring Design Guidelines

State of Texas §
 §
 County of Williamson §

Standard Pacific of Texas, Inc., Declarant (successor in interest to Davis Spring Properties, Ltd.), wishes to place of record the Design Guidelines for the Davis Spring Subdivision, a subdivision in Williamson County, Texas, as described in the Master Declaration of Covenants, Conditions, and Restrictions for Davis Spring Residential Property, recorded in Volume 2560, Page 923 (et seq of the official records of Williamson County, Texas (the "Declaration").

The Design Guidelines, attached hereto as Exhibit A, are the Design Guidelines referred to in Article 1, Section 1.10 of the declaration. These Guidelines may be amended from time to time. Before proceeding on the basis of these Design Guidelines, owners should consult all other governing documents of the association (including without limitation the Declaration and its requirements for pre-approval for certain improvements or alterations) and request a current copy of the Design Guidelines from the association.

Executed this 9th day of July, 2002.

Standard Pacific of Texas, Inc., Declarant
 (successor in interest to Davis Spring Properties, Ltd.)

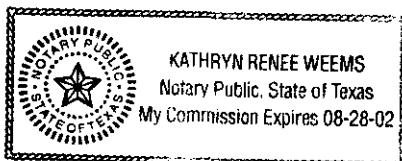
By: Jack Strong

Printed name: Jack Strong

Title: Area Manager

State of Texas §
 County of Travis §

This instrument was acknowledged before me on July 9, 2002, by Jack Strong, in the capacity stated above.



Kathryn Renee Weems
 Notary Public in and for the State of Texas

① After recording, please return to:
 Niemann and Niemann, L.L.P.
 Attorneys at Law
 Westgate Building, Suite 313
 1122 Colorado Street
 Austin, Texas 78701



CAPTEX DEVELOPMENT CO., LLC

DEVELOPMENT DESIGN GUIDELINES

FOR

DAVIS SPRING

PREPARED BY

CAPTEX DEVELOPMENT COMPANY, LLC

1993

**DEVELOPMENT DESIGN GUIDELINES FOR
DAVIS SPRING**

TABLE OF CONTENTS

	<u>PAGE</u>
SECTION ONE - THE DEVELOPMENT CONCEPT	
1.01 Introduction	1
1.02 Purpose and Intent	1
1.03 Authority and Scope	2
1.04 Location and Application	3
SECTION TWO - DESIGN ELEMENTS - OVERALL COMMUNITY CONCEPT	
2.01 Land Use	4
2.01.01 General	4
2.01.02 Research and Development	5
2.01.03 Administrative or Professional Office	5
2.01.04 Community Commercial	5
2.01.05 Neighborhood Commercial	5
2.01.06 Industrial Park (with PDA Overlay Standards)	6
2.01.07 Single Family Residential	6
2.01.08 Multi-Family Residential	6
2.01.09 Open Space/Residential	6
2.01.10 Public and Quasi Public	7
2.02 Circulation	7
2.02.01 Arterial Roadway Network	7
2.02.02 Secondary Roadway Network	7
2.02.03 Pedestrian & Bicycle System	7
2.03 Architecture	9
2.03.01 General	9
2.04 Landscape Architecture	9
2.04.01 General	9
2.04.02 Streetscape	11

2.04.03	Grading	12
2.04.04	Parking Areas	13
2.04.05	Interior Areas	14
2.04.06	Screening/Buffers	15
2.04.07	Tree Protection	16
2.05	Signing and Lighting	17
2.05.01	Signing	17
2.05.02	Lighting	17

SECTION THREE - PROPERTY DEVELOPMENT STANDARDS & GUIDELINES - RESIDENTIAL SECTION

3.01	Residential Development	18
3.01.01	Storm Drainage	18
3.01.02	Utilities	19
3.02	Residential Development Standards	19
3.02.01	Site Planning Guidelines	19
3.02.02	Permitted Uses	19
3.02.03	Minimum Building Setbacks	19
3.02.04	Height Restrictions	20
3.02.05	Exterior Building Materials	20
3.02.06	Parking Requirements	20
3.02.07	Recreational Vehicle Storage	20
3.02.08	Sign Restrictions	20
3.03	Open Space Development Standards	21
3.04	Residential Community Fencing	21
3.05	Architectural Design Guidelines	23
3.05.01	General	23
3.05.02	Elevations	23
3.05.03	Material and Color	27
3.05.04	Site Plan Design	28
3.06	Landscape Architectural Design Guidelines	31

SECTION FOUR - PROPERTY DEVELOPMENT STANDARDS & GUIDELINES - OFFICE, COMMERCIAL - INDUSTRIAL PARK & MULTI-FAMILY SECTION

4.01 General Development Standards	34
4.01.01 Storm Drainage	35
4.02 Retail Commercial Development Standards	35
4.02.01 Site Planning Guidelines	35
4.02.02 Permitted Uses	35
4.02.03 Building Setbacks	36
4.02.04 Height Restrictions	36
4.02.05 Maximum Site Coverage	36
4.02.06 Parking Requirements	36
4.02.07 Pedestrian Access	36
4.02.08 Landscape Requirements	36
4.02.09 Wall, Fences and Barriers	38
4.02.10 Loading Areas	38
4.02.11 Storage Areas	39
4.02.12 Refuse Collection Areas	39
4.02.13 Telephone and Electrical Service	39
4.02.14 Sign Restrictions	40
4.03 Research and Development Standards	42
4.03.01 Site Planning Guidelines	42
4.03.02 Permitted Uses	42
4.03.03 Building Setbacks	42
4.03.04 Height Restrictions	44
4.03.05 Maximum Site Coverage	44
4.03.06 Parking Requirements	44
4.03.07 Landscape Requirements	45
4.03.08 Wall, Fences and Barriers	46
4.03.09 Loading Areas	47
4.03.10 Storage Areas	48
4.03.11 Refuse Collection Areas	49
4.03.12 Sign Restrictions	50
4.04 Office Development Standards	
4.04.01 Site Planning Guidelines	51
4.04.02 Permitted Uses	52
4.04.03 Building Setbacks	52
4.04.04 Height Restrictions	52
4.04.05 Maximum Site Coverage	52

4.04.06	Parking Requirements	53
4.04.07	Landscape Requirements	53
4.04.08	Wall, Fences and Barriers	56
4.04.09	Loading Areas	56
4.04.10	Storage Areas	56
4.04.11	Refuse Collection Areas	57
4.04.12	Sign Restrictions	57
4.05	Service Station and Drive-through Commercial Development Standards	58
4.05.01	Site Planning Guidelines	58
4.05.02	Building Setbacks	58
4.05.03	Parking Requirements	59
4.05.04	Landscaping Requirements	59
4.05.05	Storage Areas	61
4.05.06	Refuse Collection Areas	61
4.05.07	Sign Restrictions	61
4.06	Industrial Park (with PDA Overlay Standards)	64
4.06.01	Site Planning Guidelines	64
4.06.02	Permitted Uses	64
4.06.03	Minimum Building Setbacks	65
4.06.04	Height Restrictions	66
4.06.05	Exterior Building Materials	66
4.06.06	Parking Requirements	66
4.06.07	Recreational Vehicle Storage	67
4.06.08	Wall, Fencing and Barriers	68
4.06.09	Loading Areas	69
4.06.10	Storage Areas	70
4.06.11	Refuse Collection Areas	71
4.06.12	Sign Restrictions	72
4.07	Multi-Family	
4.07.01	Site Planning Guidelines	74
4.07.02	Permitted Uses	74
4.07.03	Minimum Building Setbacks	74
4.07.04	Height Restrictions	74
4.07.05	Exterior Building Materials	74
4.07.06	Parking Requirements	74
4.07.07	Recreational Vehicle Storage	75
4.07.08	Wall, Fencing and Barriers	75
4.07.09	Storage Areas	75
4.07.10	Refuse Collection Areas	75
4.07.11	Sign Restrictions	75

4.07.12	Open Space Development Standards	76
4.07.13	Architectural Design Guidelines	77
4.07.14	Site Plan Design	79
4.08	Open Space Development Standards	80
4.09	Architectural Design Guidelines	81
4.09.01	Elevations	81
4.09.02	Building Materials and Colors	81
4.10	Landscape Architectural Design Guidelines	83
4.10.01	Landscape Concept	83
4.10.02	Screening/Buffers	86
4.10.03	Interior Areas	89
4.10.04	Grading	90
4.10.05	Landscape Maintenance	92
4.10.06	Tree Protection	93

SECTION FIVE - PLAN ADMINISTRATION AND IMPLEMENTATION

5.01	Design Review and Approval Procedures	94
5.02	Architectural Review Committee	96
5.03	Site Plan Review	97
5.04	Architectural Review	98
5.05	Inspection and Enforcement of Restrictions	98
5.06	Amendments of Design Guidelines	100
5.07	Variance to Standards & Guidelines	100

APPENDICES

Glossary of Terms	A
Davis Spring Creek Property Description	B
Covenants, Conditions and Restrictions for Davis Spring (Residential and Commercial)	C

SECTION ONE - THE DEVELOPMENT CONCEPT

1.01 Introduction

Davis Spring represents a far reaching large scale planning effort, utilizing special zoning and property development standards developed in conjunction with the City of Austin. Under this program, the development will combine commercial administrative/professional, research and development, office, recreational, residential and other compatible land uses in three distinct areas. These guidelines assure that Davis Spring will be a unified and controlled design environment. The Design Guidelines will supplement City, County and State ordinances, and function in conjunction with the protective covenants and deed restrictions for Davis Spring.

The character of Davis Spring will be established through site planning, landscape architecture and architectural elements repeated throughout the development areas. The repetitive use of complementary materials and forms will help to identify the project as a unified urban environment of consistent excellence in harmony with its setting.

These guidelines will be administered uniformly throughout the development area by an Architectural Review Committee.

1.02 Purpose and Intent

The purpose of these Development Design Guidelines is to insure that the development of consistently high quality and compatibility occurs within the Davis Spring project, thus protecting and enhancing the investment of all those uses locating within the development. The standards and guidelines contained herein provide a documented basis for directing and evaluating the planning, engineering, architectural and landscaping design of improvements to each use - office, commercial, industrial, multi-family or residential lot - and provide a mechanism in which the stated objectives of the development plan can be achieved. The ultimate purpose is to produce a high quality mixed-use development of which owners, tenants and the community can be equally proud. The goal of these design guidelines is to achieve the following:

1. To ensure the protection of valuable natural and environmental resources including vegetation, landforms, water quality and natural historic resources.

2. To ensure the protection of property values and enhancement of investment both within the project area and within surrounding properties.
3. To promote attractive, high quality design in development which upgrades the Austin Hill Country's natural environment and identity, and is compatible with existing and future surrounding uses.
4. To encourage imaginative, innovative planning and design of facilities and sites while providing flexibility to respond to changing future market, social, political and economic conditions.
5. To create variety and interest in development through a high standard of architectural and landscape design.
6. To create a "human scaled" environment which is an integral part of the larger community.

1.03

Authority and Scope

All properties within Davis Spring described in the attached property description (Field Notes and Sketch - Appendix B herein) which fall within the jurisdictional area of this plan are subject to the standards and procedures contained in these Development Design Guidelines. In order to create and maintain a high quality of development, each property owner, developer, homeowner's association or like party agrees to uphold these standards and procedures as well as those covenants, conditions and restrictions pertaining to that property.

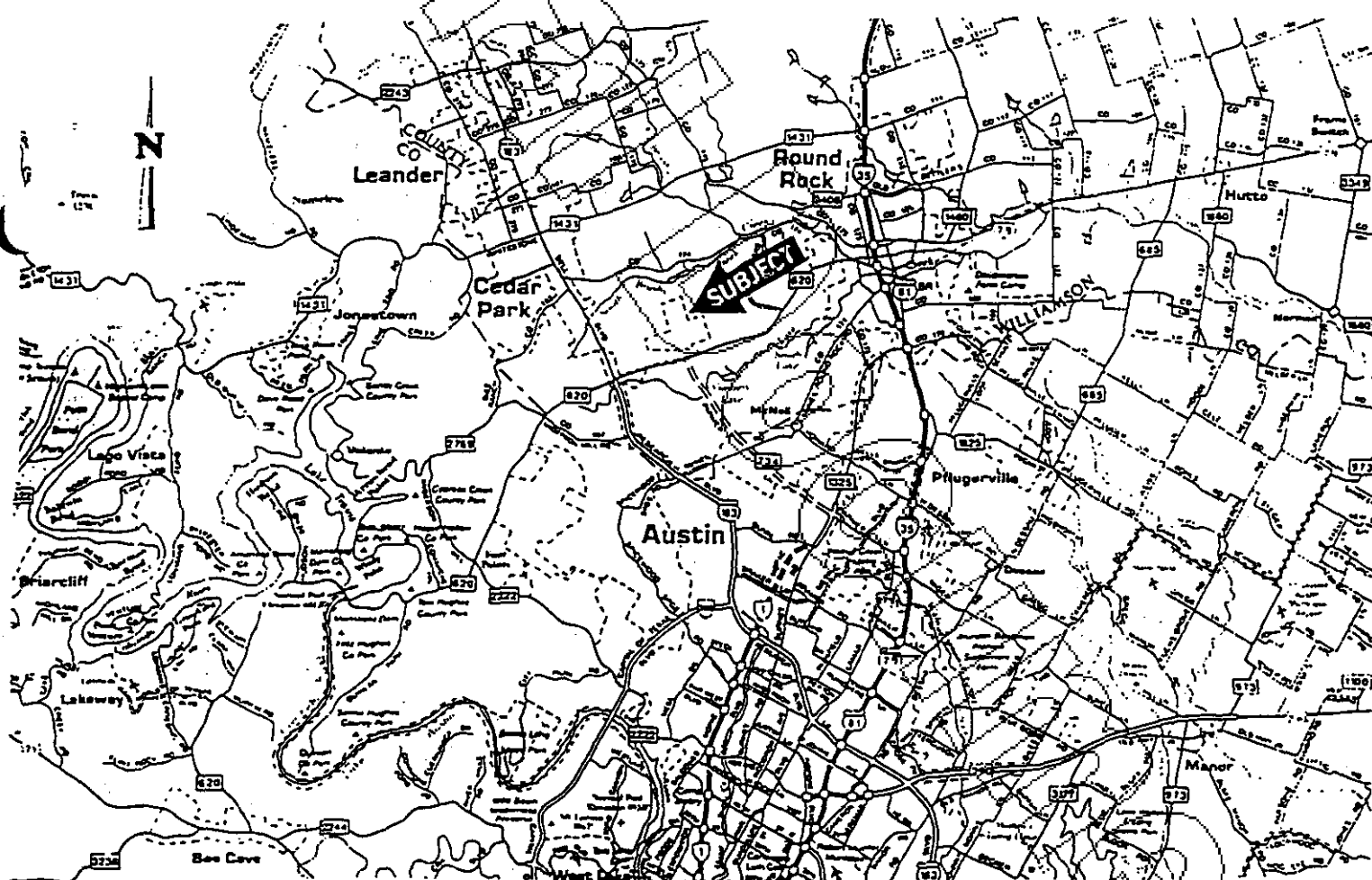
The responsible body for administering, reviewing and enforcing these Development Guidelines shall be the Architectural Review Committee described herein.

1.04

Location and Application

These Development Design Guidelines apply to the 636.0 acre site known as Davis Spring. The property is more precisely described in a legal description appended hereto and indicated on Figure 1, Location Map. These standards shall be applied in addition to any subdivision plat conditions or notes and requirements of the City of Austin. For guidelines and standards which are not explicitly stated herein, the responsible governmental agency requirements shall prevail.

All lots of record are allowed to develop according to development standards as set forth in this Plan.

FIGURE 1

RECORDERS MEMORANDUM

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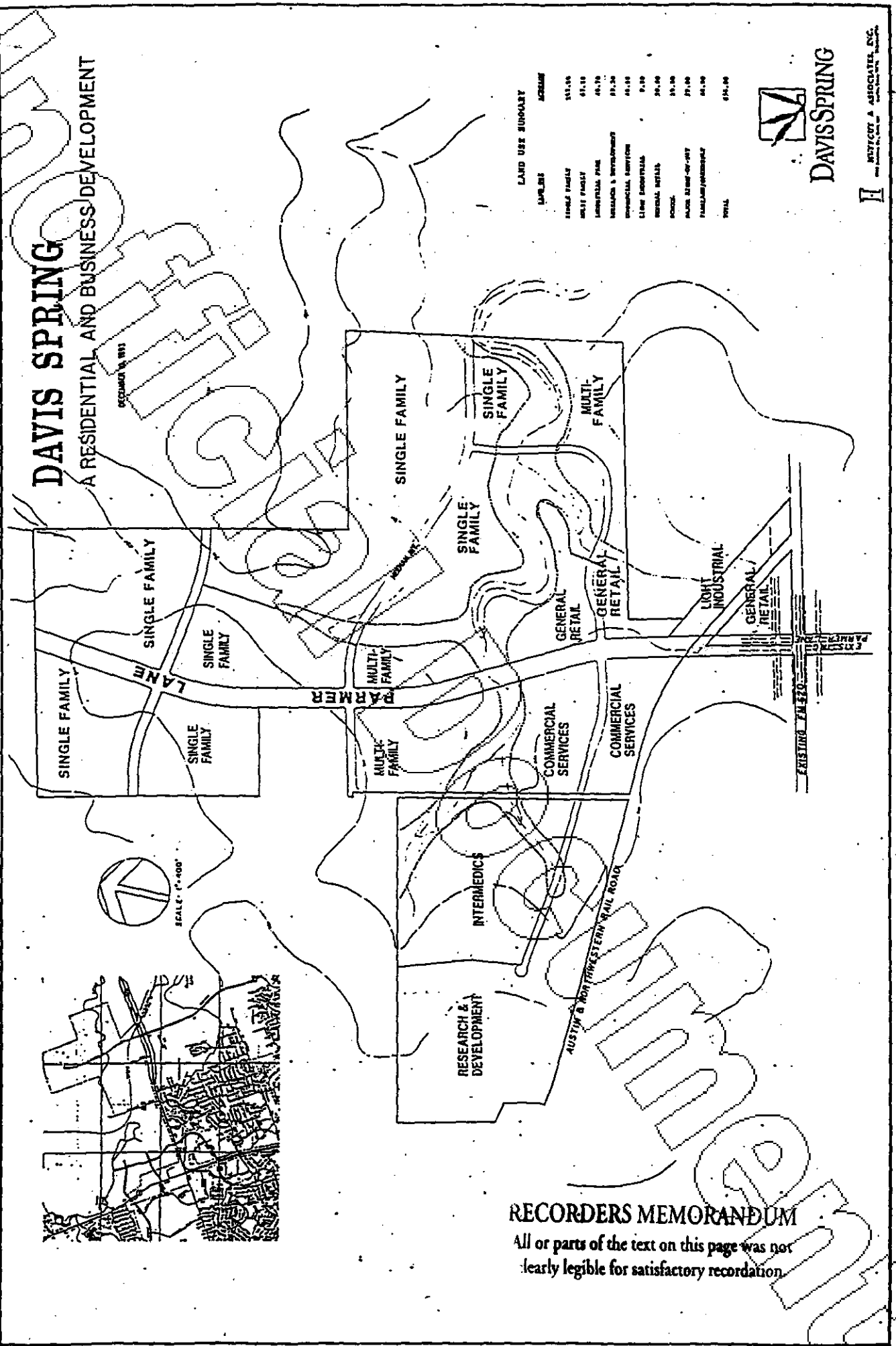
DAVIS SPRING

A RESIDENTIAL AND BUSINESS DEVELOPMENT

RECORDED IN 1971



SCALE: 1" = 400'



LAND USE	ACRES
SINGLE FAMILY	151.00
MULTI FAMILY	61.10
GENERAL RETAIL	46.70
COMMERCIAL SERVICES	81.30
LIGHT INDUSTRIAL	41.00
RESEARCH & DEVELOPMENT	20.00
INTERMEDICS	10.00
PAVED DRIVE-UP-GET	21.00
PARKING/STORAGE	41.00
TOTAL	514.10



DAVIS SPRING

DAVIS SPRING & ASSOCIATES, INC.
10000 DAVIS SPRING ROAD, SUITE 100
DALLAS, TEXAS 75243

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SECTION TWO - DESIGN ELEMENTS

2.01 Land Use

It is the intent of the land use plan to utilize the unique features of the Davis Spring site to create an aesthetically pleasing and functional multi-use development. Important features on the site include frontage along FM 620 and Parmer Lane (FM 734) and the natural division of planning areas by greenbelts with dense coverage of oaks and elms, and the canyons and open space. More intensive land uses which include multi-family, commercial, industrial park, office, and research and development, are located near FM 620 and on the eastern and western boundaries of Parmer Lane (FM 734). Moving north from FM 620 and Parmer Lane (FM 734), there is a general pattern of density decreases due to the city's zoning policies. Densities and FAR's are limited to the numbers shown on the Master Plan legend (Exhibit 1). The residential areas are designed to maximize circulation efficiency and view potential of the rolling Hill Country and open space, with the largest lots adjacent to tree covered greenbelts. The siting of schools, parks, and community facilities throughout the residential areas offers easy accessibility. In addition, access on the site is enhanced by an extensive system of greenbelts with planned walkways which link public and private lands.

2.01.01 General

The Davis Spring Plan identifies the type, location, and interrelationship of the zoning and land uses permitted within the project area. The principal land uses, identified on Exhibit 1, can be divided into the following categories:

Research and Development
 Administrative or Professional Office
 Community Commercial
 Neighborhood Commercial
Industrial Park (with PDA Overlay Conditions)
 Single Family Residential
 Multi-Family Residential
 Open Space/ Recreation
 Public and Quasi-Public

The intent of each of these major land uses types is described as follows:

2.01.02 Research and Development

These use areas are intended for development of a range of research services including research testing, research warehousing and research assembly services. Prohibited uses in these areas include fabrication, processing, manufacturing, refining or resource extraction. These areas will be developed with a high level of site design and operational performance standards.

Compatible uses within this area are administrative and professional offices, convenience stores, restaurants, civic/cultural uses, financial services, government facilities, medical and veterinary services, and other similar uses as outlined in the City of Austin Ordinance No. 84 "R&D" Research and Development use District.

2.01.03 Administrative or Professional Office

These use areas are intended for development of professional and administrative offices. Development sites within this use type will be of varying sizes to accommodate multiple users.

Principal uses permitted included professional, financial and business offices, specialized business services, medical offices, college and university facilities and restaurants. This use type is intended to be consistent with the City of Austin "LO" and "GO" zoning districts.

2.01.04 Community Commercial

These areas include retail oriented and other commercial uses designed to serve a wide range of community needs including areas outside Davis Spring and are consistent with the City of Austin "GR" and "LR" zoning districts. Development sites within this use type generally range from six to twenty-five acres.

2.01.05 Neighborhood Commercial

These areas include retail oriented commercial uses designed primarily to satisfy the household needs of surrounding residential areas. Development sites within this use type will generally range from less than one to twelve acres in size. Uses include supermarkets, drug stores,

banking, convenience commercial, automobile service stations restaurants, speciality retail or service business.

2.01.06 Industrial Park (with PDA Overlay Conditions)

These areas include basic industry, custom manufacturing, light manufacturing, limited warehousing and distribution, recycling center, and resource extraction. Prohibited uses in these areas include agricultural sales and services, automotive rentals, automotive repair services, automotive sales, construction sales and services, convenience storage, exterminating services, medical offices, railroad facilities, food sale and general warehousing and distribution. These areas will be developed with a high level of site design and operational performance standards.

2.01.07 Single Family Residential

These areas encompass a range of detached and attached single family housing of differing densities.

Associated compatible uses in residential areas consist of schools, parks, churches, civic or cultural uses, and open space. Uses and regulations are generally those identified in the City of Austin's SF-1, SF-2, SF-3, SF-4 and SF-6 districts.

2.01.08 Multi-Family Residential

These areas include multi-family housing and related uses. Associated compatible uses in multi-family residential areas consist of schools, parks, churches, civic uses and open space. Uses and regulations are generally those identified in the City of Austin's MF-1, MF-2 and MF-3 districts.

2.01.09 Open Space/Recreational

This use area is intended to include natural open space, parks, drainage and utility easements, non-vehicular access route, and other similar open space, public and recreational uses.

2.01.10 Public and Quasi-Public

These uses are distributed throughout the overall development and consist of such uses as libraries, police and fire stations, city or county maintenance yards, utility company facilities, etc. Sites for these uses would be generally smaller than two acres.

2.02 Circulation

2.02.01 Arterial Roadway Network

The arterial roadway network proposed for Davis Spring provides for the efficient movement of regional traffic. The network is comprised of two arterials; Parmer Lane (FM 734) and F.M. 620. Access at intersections via driveways to these roadways are subject to City of Austin and Texas Department of Highway design guidelines.

2.02.02 Secondary Roadway Network

The secondary roadway network serves to distribute traffic from the development areas to the arterial roadways throughout the development. Proposed secondary roadways are Cassandra Drive, Spectrum Drive and Neenah Avenue.

2.02.03 Pedestrian & Bicycle System

Pedestrian and bicycle paths are provided throughout Davis Spring to encourage non-automobile transportation where practical, and to permit good access to public open spaces and recreational areas. The system links parks, major roadways, residential areas, commercial sites, transit centers, and offices together in a network requiring a minimal number of street crossings and offering a pleasant, aesthetic setting along the pathway.

Access to Open Space from Residential Areas (Typical Condition)

The critical factor in rendering the open space useful is accessibility for use and maintenance. Everyone must have direct, convenient access to the open space and community facilities. Access by way of the pedestrian circulation linkage is to be handled as in the following example:



FIGURE 2

2.03 Architecture

This document is divided into single family residential (Sections 3.01 through 3.06) and non-residential (Sections 4.01 through 4.09). The architectural standards are tailored to the type of development and are contained within the corresponding area of Section 3 or 4.

2.04. Landscape Architecture

2.04.01 General

Landscaping throughout Davis Spring serves as a major element toward creating a high quality visual environment. The overall landscape concept focuses first on street landscaping, especially for the primary and secondary roadways.

The intent of the street landscaping is to establish continuity throughout Davis Spring. This will be accomplished by the use of repeated planting treatments, berming along roadways, complementary signing and graphics, and coordinated lighting. Landscape berming is incorporated to provide variety in landform and visual interest.

Important landscaping considerations are low water consumption and low maintenance requirements. Generally, plant materials shall be selected for their hardiness and drought tolerant characteristics. The landscape plan shall reflect careful placement of plant species so that their mature size and form does not interfere with adjacent landscape or uses.

In many locations, a consideration for the selection and placement of tree species shall be their shading potential at maturity. In parking and other paved areas, trees should shade much of the paving. Additionally, near buildings, trees should be selected and located to provide opportunities for passive solar design.

In combination with signing and lighting, landscaped entry statements will be made at the major project access points. Specimen size canopy trees will provide drama and identity at these entries, with accent trees as a backdrop. This will initiate the experience of entering an enriched environment. Each entry should

incorporate an element of colorful accent planting. Rock outcrops and paving or rock in varying sizes may be combined with planted groundcover.

Accent trees should be lit in plaza areas and along walkways to provide visual interest and encourage use of the areas at night. Landscape lighting at building entries and exteriors is indicated for those structures with potential night use or those within primary view from roadways.

Spot lighting of signing and entries should be used at buildings with after dark use. Buildings directly adjacent to walkways, and plazas that connect these night use elements with other uses on site, shall have similar types of lighting. Accent lighting shall be implemented on buildings that are within primary view from major intersections, however, energy conservation shall be a consideration.

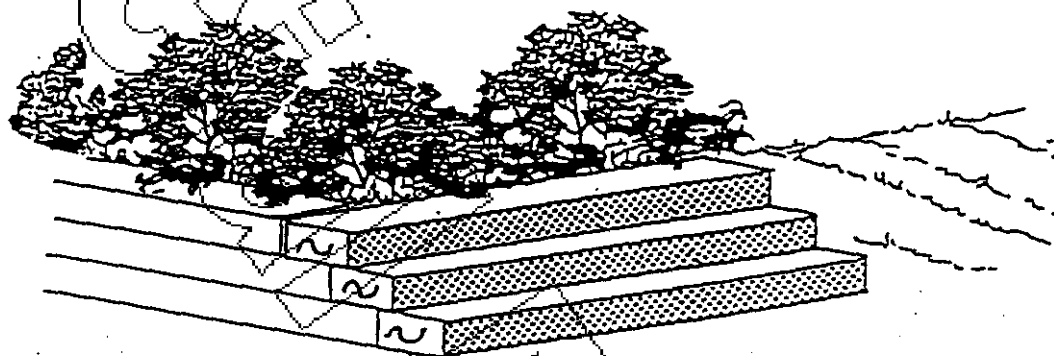
Overall walkway illumination shall be provided by site developers or builders and accomplished with medium intensity fixtures so that a moderate level of lighting is provided throughout.

2.04.02 Streetscapes

Major roadways should be depressed in elevation where feasible and parkway berming, varying from 3:1 through 6:1 in slope, should be used along major and secondary streets. Designs should consider directing drainage and irrigation runoff water away from pedestrian areas. Landscape continuity shall be established along the main streets through the use of dominant, broad-headed theme trees. Subordinate tree species will provide backdrop and relief. Ground level plantings will provide continuity in terms of color and texture, with flowing shrub masses interspersed as accents and screening. Along the major access routes that connect to interior collector streets, a sense of arrival shall be gained through the use of plant materials which possess strong form or color qualities. These are to be generally designed in a formal configuration, focused on the intersection, featuring such elements as specimen sized trees, signage, monumentation and colorful accents.

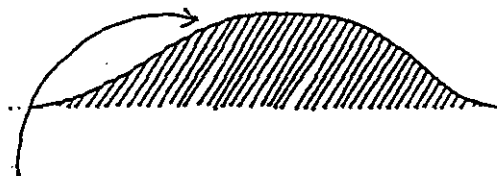
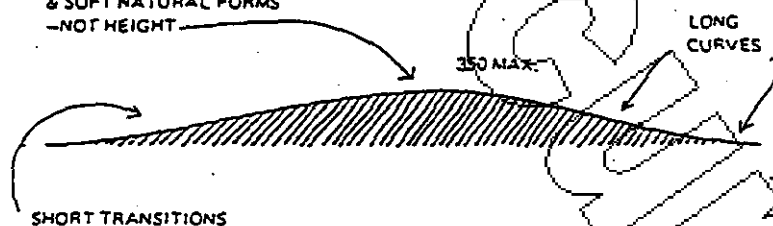
2.04.03 Grading

Grading of landscaped areas should be designed to emulate natural land forms and avoid hard edged, man-made appearances. Slopes should be between 3:1 and 6:1 and should smoothly transition between areas of different slope.

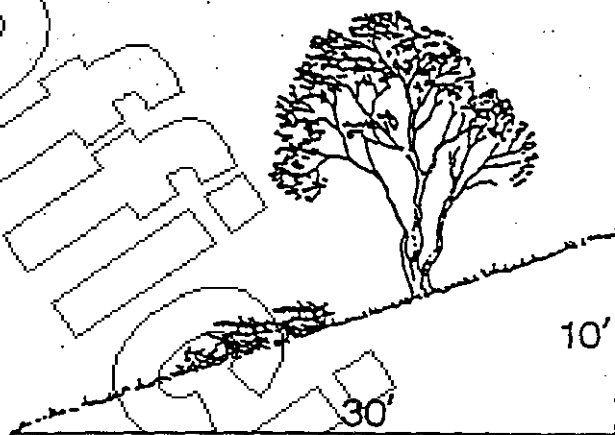


NO RAILROAD TIE CONSTRUCTION

EMPHASIS WILL BE PLACED
ON SMOOTH TRANSITIONS
& SOFT NATURAL FORMS
—NOT HEIGHT—

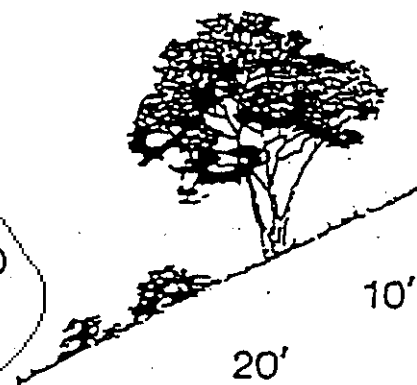


MOUNDING IS NOT TO
BE "LUMPY" OR ABUPT



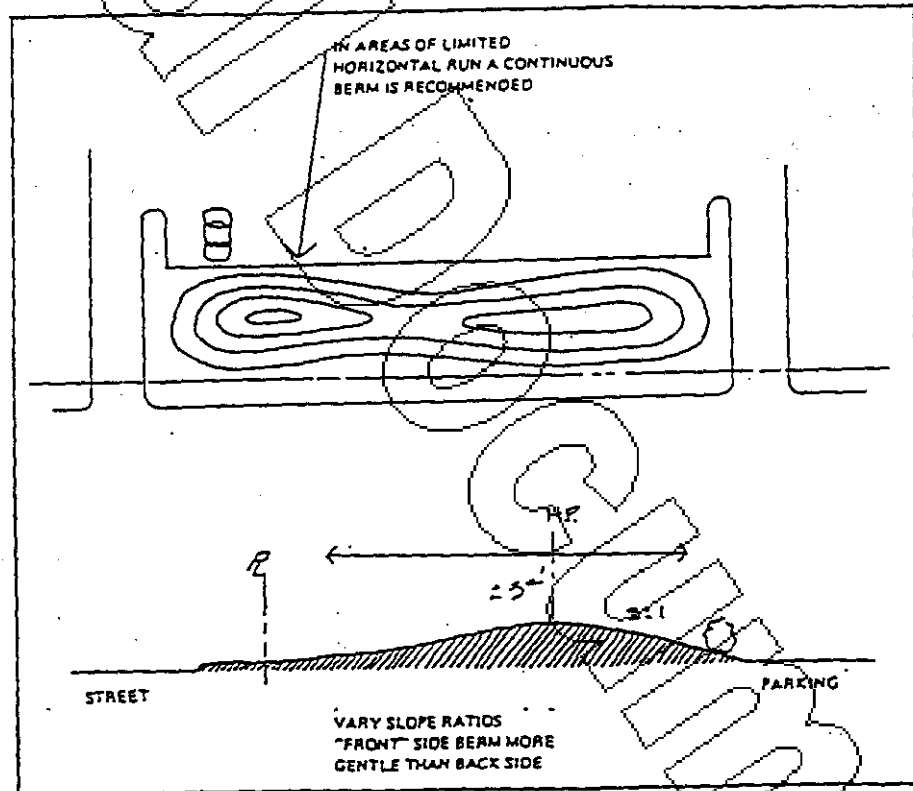
LANDFORMS 3:1
MAXIMUM ALLOWABLE
SLOPE

NO 2:1 LANDFORM
SLOPES PERMITTED



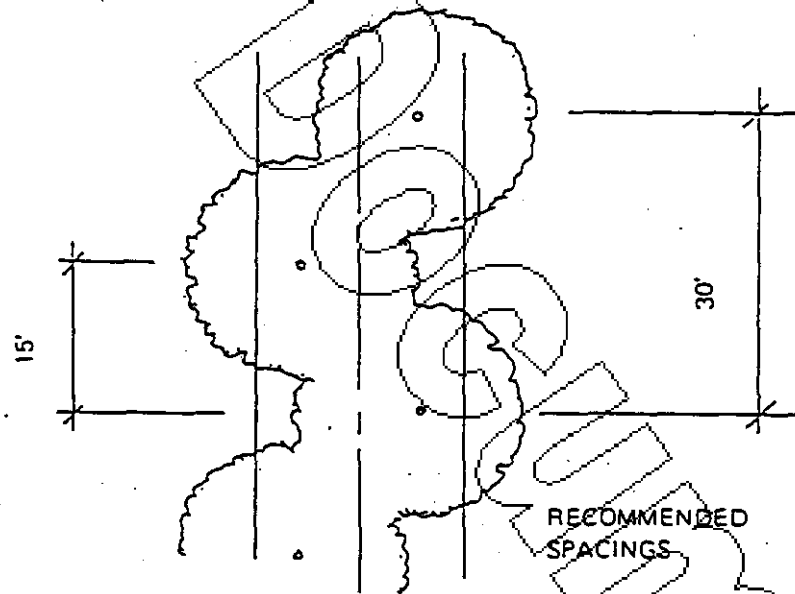
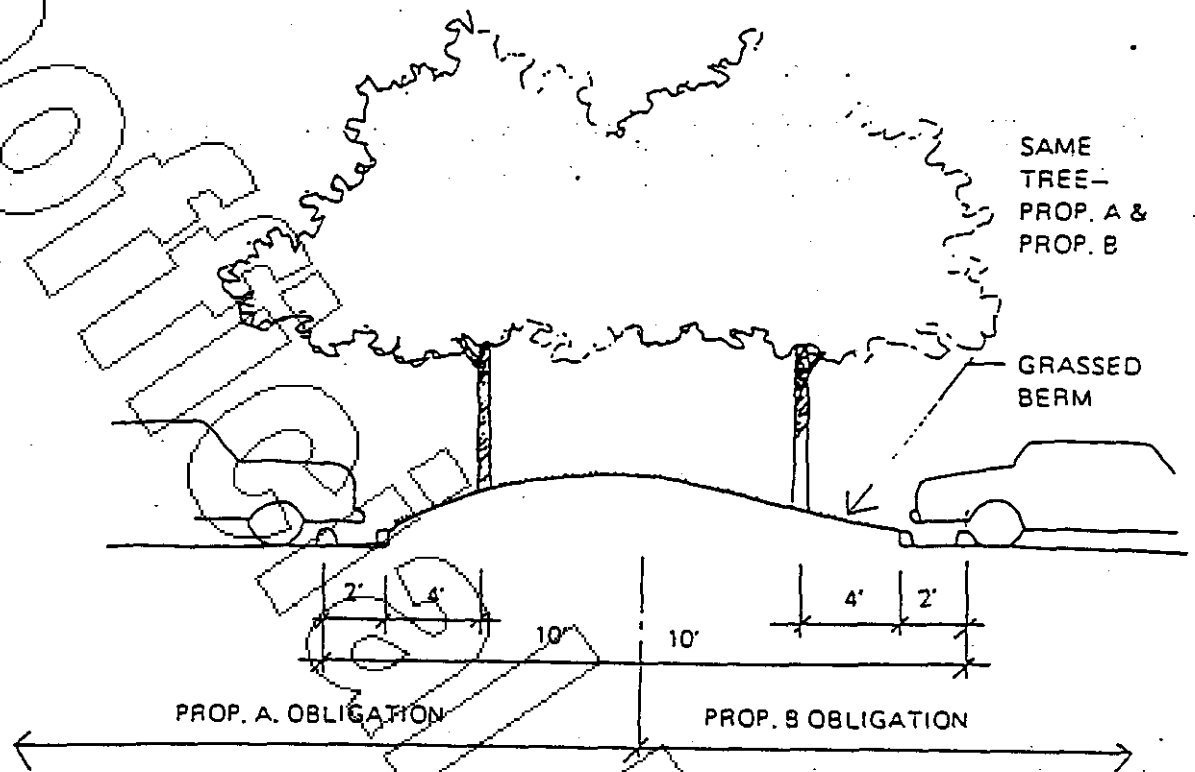
2.04.04 Parking Areas

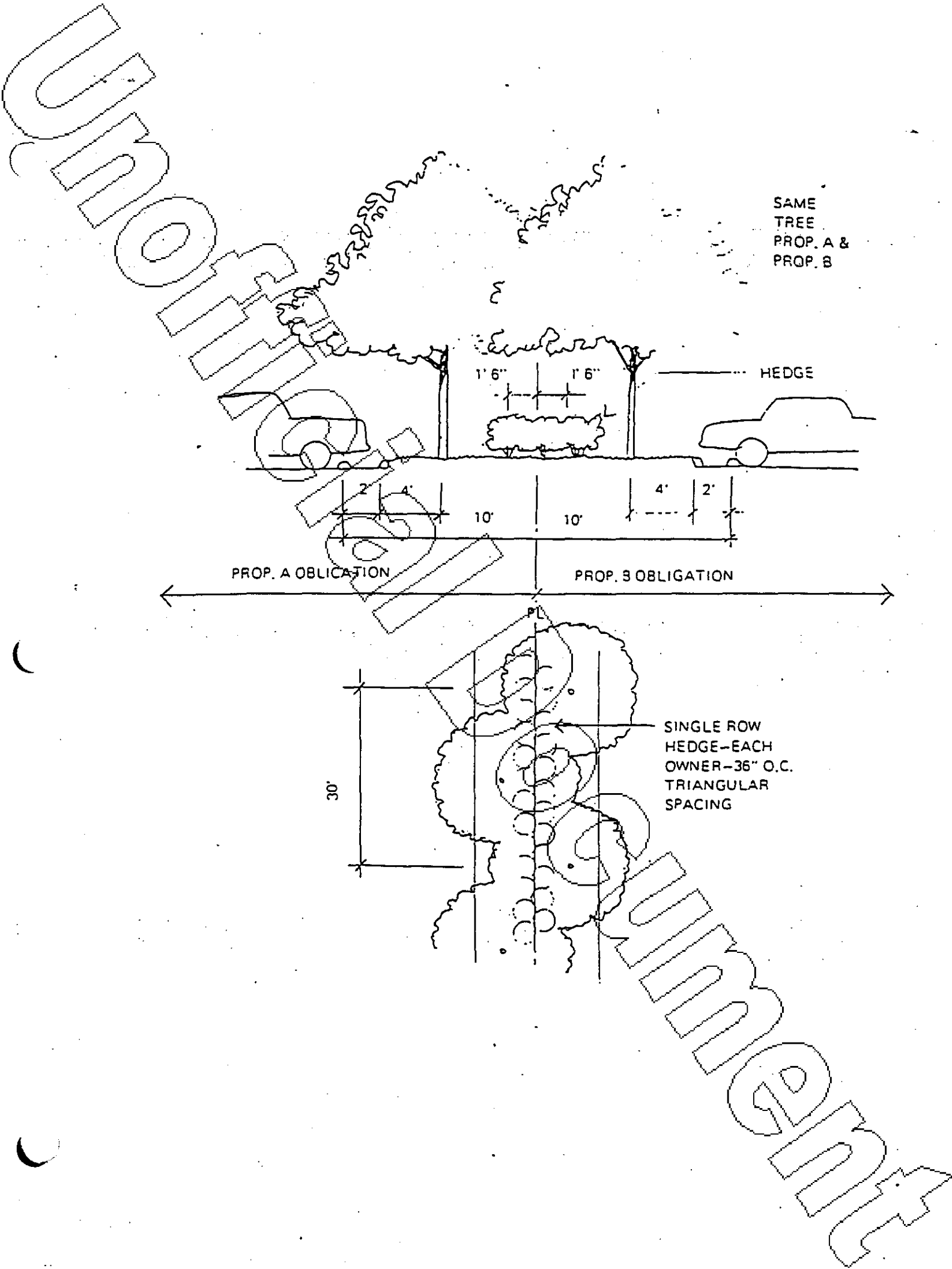
The primary purpose of landscaping in parking areas is to provide visual relief and enhancement. A second benefit is to provide shading to minimize solar heat absorption by the paving and the resultant re-radiation. To achieve this, canopy form tree species should be planted throughout parking areas to provide visual enhancement and significant shading. The tree planter areas between rows of cars should employ colorful, low growing shrubs as accents. Species should be selected with consideration to low irrigation and maintenance requirements. The periphery of parking areas shall be partially screened from view using a combination of berming and planting, especially in multi-family, office and non-retail commercial areas.



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SAME
TREE
PROP. A &
PROP. S

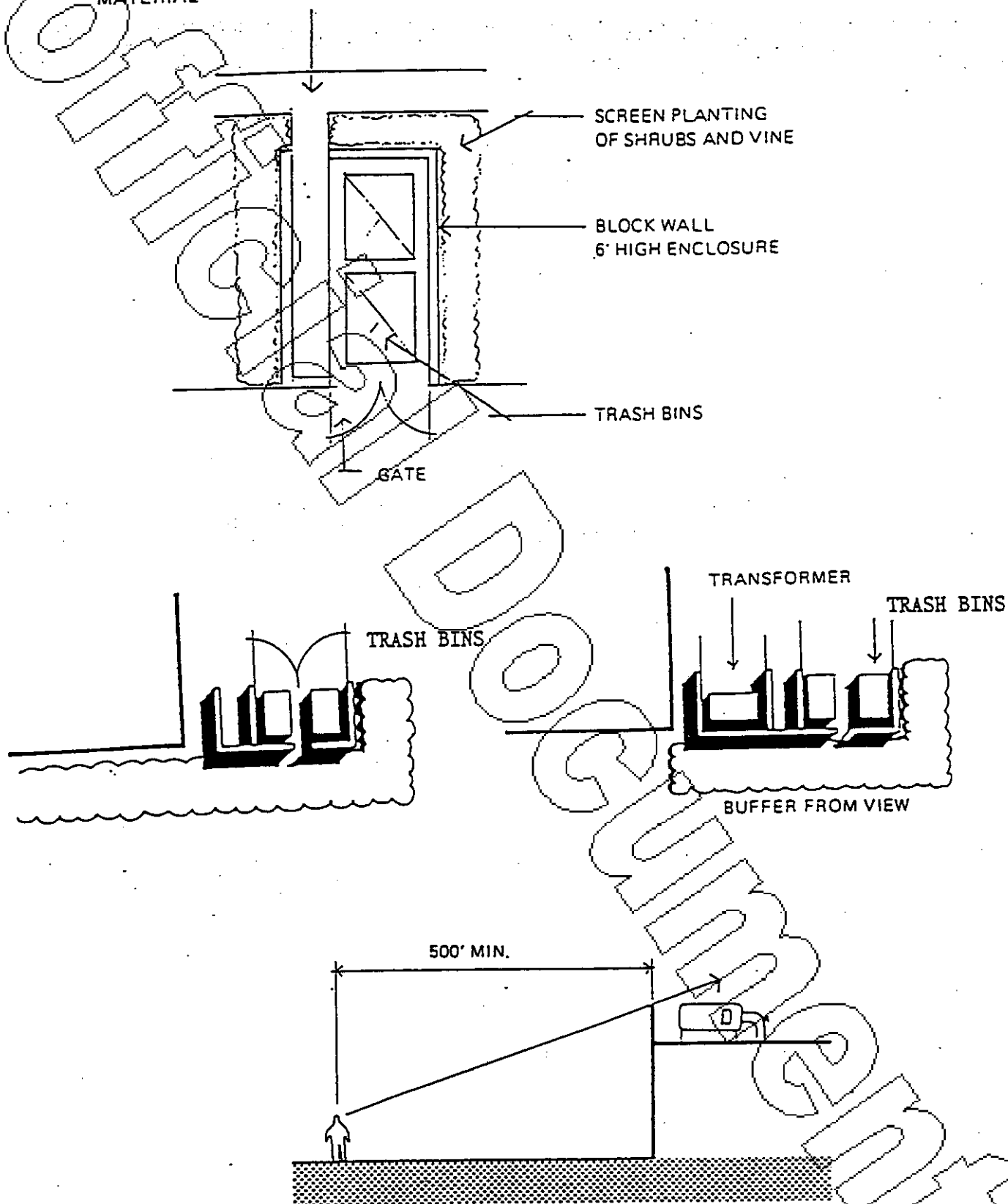
HEDGE

PROP. A OBLIGATION

PROP. S OBLIGATION

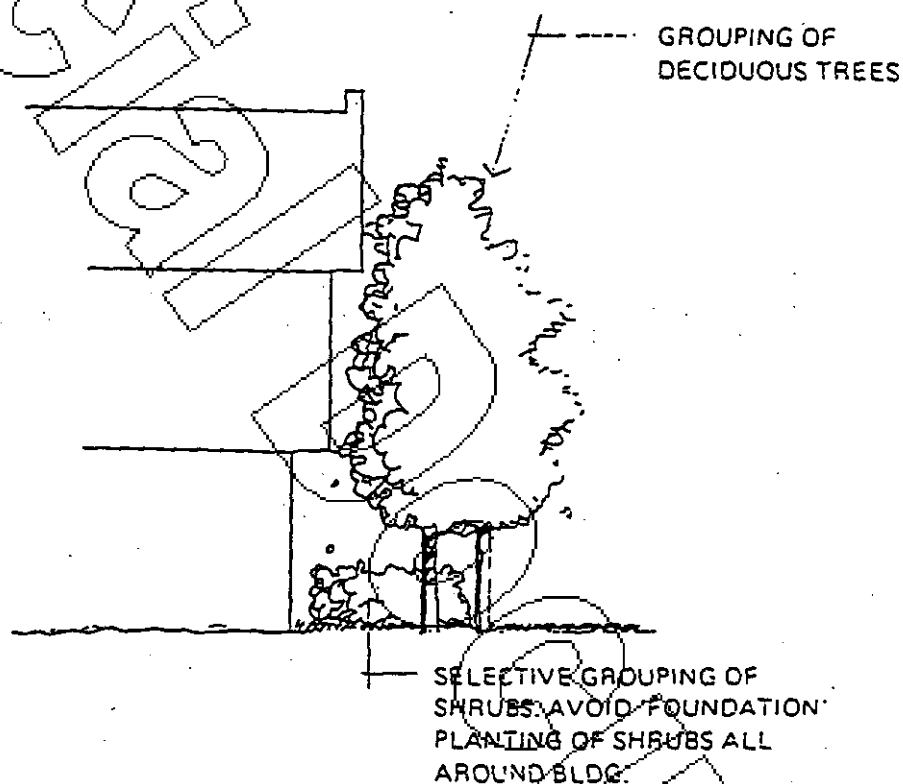
SINGLE ROW
HEDGE-EACH
OWNER-36" O.C.
TRIANGULAR
SPACING

- TYPICAL PLAN OF ENCLOSURE:
SCREEN IS PROVIDED WITH
SOLID STRUCTURE AND PLANT
MATERIAL



2.04.05 Interior areas

Areas not used for circulation, parking or storage shall be planted with trees, shrubs and/or ground cover. Foundation planting at building perimeters should consist of evergreen shrubs along with planted groundcover. Trees shall be planted to relieve long, unbroken expanses of wall, and to act as accents at entries.

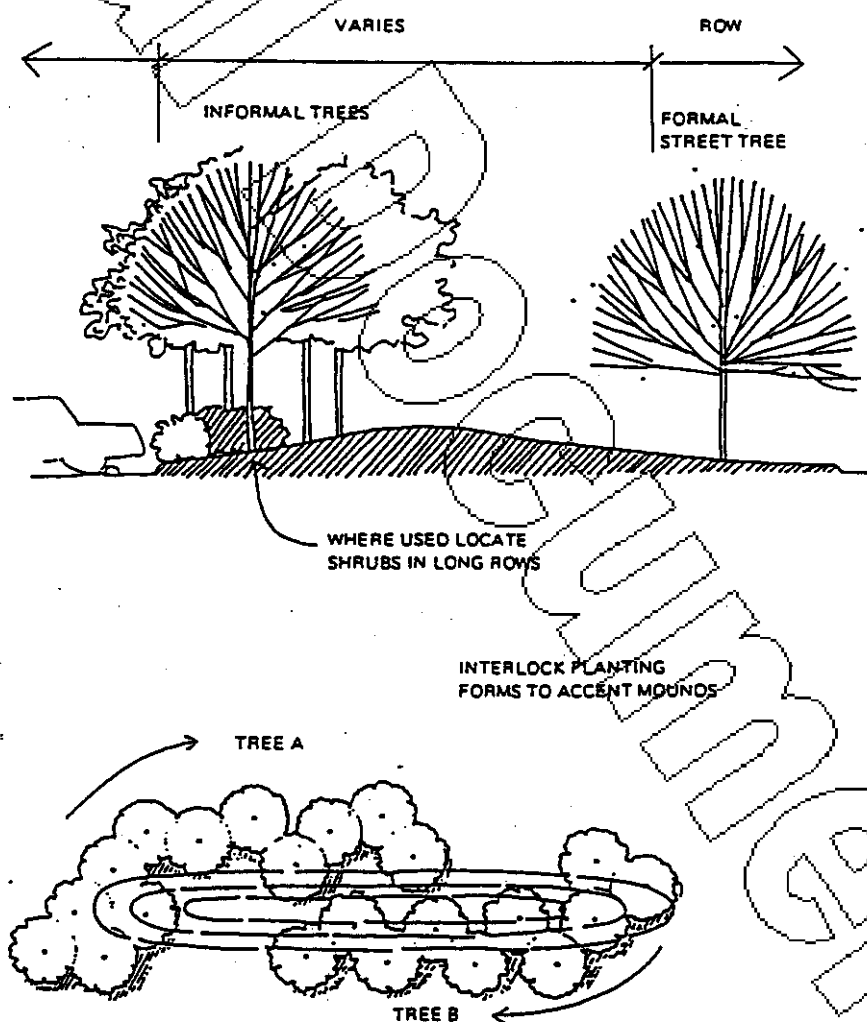


DESIGN INTENT:

1. SELECT SMALL NUMBER OF SPECIES IN PLANT MATERIAL.
AVOID PLANTING MANY PLANT SPECIES. USE SIMPLE,
ELEGANT LANDSCAPE MATERIAL PLATTE.
2. ALWAYS USE SUFFICIENT QUANTITY OF SAME MATERIAL
IN GROUPINGS.

2.04.06 Screening/Buffers

Evergreen plant material, masonry walls and low berms shall be used in various combinations to visually screen parking areas, storage areas, loading areas, trash facilities, outdoor satellite dish antennas and utility fixtures. Species with dense foliage are required to be effective as a hedge. Walls shall have finishes that match or complement adjacent architecture and shall not exceed eight feet in height. Where greater height is required, combining berming with walls or plant material is desirable.



2.04.07 Tree Protection

To the maximum extent practical, mature trees greater than 6" in trunk diameter at a point 3' above grade should be preserved and incorporated into site and landscape design. For this reason, the following tree protection technique shall be employed where City of Austin or standards contained in these Development Design Guidelines require tree protection during construction activities. Until completion of construction activities in an area of the site are completed, a fence shall be erected outside the dripline of trees to be protected as indicated and all construction equipment shall be precluded from entering the fenced area.

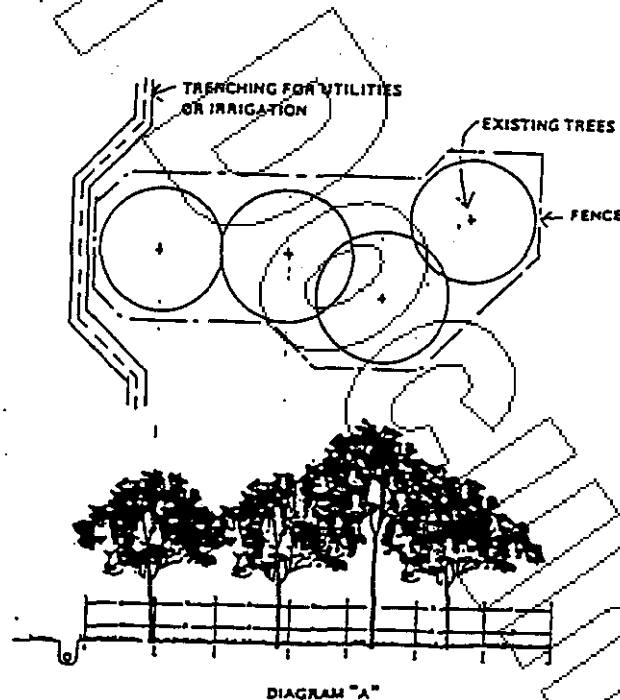


DIAGRAM "A"

SUGGESTED TREE PROTECTION

FENCING SHALL BE OUTSIDE OF DRIPLINE ON TREES TO BE PROTECTED PRIOR TO ANY SITE WORK AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.

2.05 Signing and Lighting

2.05.01 Signing

The intent of these guidelines is to establish unifying community identification graphics throughout Davis Spring by encouraging the various types of signing to feature similar format, color and lettering style.

Community naming signage shall be incorporated into entry monuments, a maximum seven feet high, and conforming to the City of Austin Code. Lettering shall stand out from the surface of the sign and shall measure a minimum of 8 inches and a maximum of 20 inches in height. Actual lettering area may not exceed 24 square feet. Night lighting shall be provided. Lettering style shall be consistent and project identification graphics shall be integral with the sign itself. Community directional signage shall also be of uniform color, materials, and graphic style, and shall employ the same lettering style and symbols as used in the entry signage. All permanent graphics visible from public streets including for sale/lease, directional, construction and temporary signs shall be approved in writing by the Architectural Review Committee prior to installation.

2.05.02 Lighting

Because of the mix of proposed uses and the probability of substantial night use, major outdoor circulation elements, plazas, and parking areas shall receive primary lighting attention. Entries and buildings are of secondary importance and shall feature lighting as appropriate to their uses. All lighting must restrict light projection so as to prevent hazardous glare conditions, especially with respect to vehicular traffic.

High-pressure sodium lighting shall be used to reinforce the streetscape by introducing continuity in warm coloring and uniform spacing. At intersections, light intensity shall be increased both for safety and to further illuminate the paving and landscape treatments at these locations.

SECTION THREE- PROPERTY DEVELOPMENT STANDARDS & GUIDELINES RESIDENTIAL SECTION

3.01

Residential Development

The following sections deal with specific design standards and guidelines which have been developed to implement high standards for single family detached and attached development. The success of this approach is dependent on establishing site planning, engineering and architectural design criteria which are specific enough to determine the physical appearance of the development, yet are flexible enough to allow designers of individual projects to design distinctive buildings of high quality while allowing the freedom to respond to changing market demands.

Mandatory Project Controls

Development standards which sometimes exceed City of Austin Zoning and Subdivision Regulations are proposed in order to further define and regulate future development, and ensure the long-term creation of value and protection of property within Davis Spring. They represent a framework within which a more flexible "sub-structure" of individual projects can occur. This section will describe in turn:

1. Land Use: the distribution of land uses on the site;
2. Open Space: the creation of a well defined set of open space areas;
3. Pedestrian Circulation: a specific pedestrian circulation system;
4. Site Planning Standards: recommended techniques for designing superior site plans;
5. Architectural Design Standards: a coordinated approach to the form, size, materials and location of buildings.

3.01.01 Storm Drainage

Quality appearance and street landscaping are important components of the development plan. Because of this, open drainage "bar ditches" or

open channels along roadways are to be placed so as to have a minimal visual impact as seen from streets to the maximum extent practical. Drainage is to be handled as surface flow and collected in inlet structures and piped or otherwise conveyed in closed conduits unless otherwise dictated for environmental and water quality reasons. Where possible, open swale flows are encouraged to occur away from major, arterial or collector roads.

3.01.02 Utilities

All public services and facilities will be master planned so that development of each phase of Davis Spring provides services for that phase as well as providing a link in the utility network of the ultimate development plan. All utilities are, to the maximum extent practical, to be constructed below grade, visually screened or landscaped.

3.02 Residential Development Standards

3.02.01 Site Planning Guidelines

The minimum lot area for Patio Homes shall be six thousand (6,000) square feet. The minimum lot area for Garden Homes shall be five thousand (5,000) square feet. Other single family detached residences will include eight thousand (8,000) square foot lots and nine thousand five hundred (9,500) square foot lots. The minimum lot area for townhome residences shall be two thousand (2,000) square feet.

3.02.02 Permitted Uses

These areas allow primarily residential and supportive uses:

Single family detached residences
Single family attached residences
Townhome residential units
Private recreational facilities
Churches, temples and other places of worship
Educational institutions
Libraries

3.02.03 Minimum Building Setbacks

All setbacks shall be measured from the property line and/or ultimate right-of-way line of the bordering street(s).

For single family detached and attached residences:

Front Setback

Twenty-five (25) feet for single family lots. Ten (10) feet for townhomes and PUD developments.

3.02.04 Height Restrictions

For single family detached, attached, and townhomes: Thirty five (35) feet maximum.

3.02.05 Exterior Building Materials

All residential development shall have a minimum twenty (20) percent exterior brick, stone or similar masonry on average. Additionally, corner lot buildings should have a minimum thirty (30) percent exterior brick, stone or similar masonry.

3.02.06 Parking Requirements

Parking shall be as specified in City of Austin parking standards.

In addition to the required number of parking spaces for each dwelling unit, a minimum of two-tenths (0.2) guest parking space shall be provided for each dwelling unit.

3.02.07 Recreational Vehicle Storage

All boats, trailers, campers, RV's and other recreational vehicles may not be permitted to be stored within the yard of any residential lot for greater than forty-eight (48) hours unless completely screened from public streets or enclosed in a garage.

3.02.08 Sign Restrictions

Sign Type:

All residential area signs are to be of ground mounted type or integrated into the design of a wall or monument. No pole signs are permitted unless less than six (6) feet in total height and less than twenty-five (25) square feet in area.

Sign Area and Height:

All signs less than twenty-five (25) feet from a public street right of way are limited to less than sixty-four (64) square feet in area per face. Signs greater than twenty-five (25) feet from a public street are limited to less than one hundred twenty-five (125) square feet in area per side. Maximum sign height is eight (8) feet above grade.

Sign Material:

Signs shall be of natural cut, cast or polished native materials and shall not be constructed of steel, plastic or wood unless less than twenty-five (25) square feet in area.

Sign Lighting:

Signs shall be flood illuminated with recessed lighting located so as not to present a glare condition to passing vehicles or adjacent residences. No internally lit signs are permitted.

3.03 Open Space Development Standards

The open space network within Davis Spring is oriented primarily to the major drainage courses which traverse the property. These broad drainageways provide open space, pedestrian and bicycle path circulation corridors between the various development areas of the plan. Builders of the various development areas adjacent to these open spaces systems are encouraged to take full advantage of the view opportunities when designing architecture and establishing building locations. Builders of commercial projects may also consider the advantage of locating entrances and accesses adjacent to the pedestrian and bicycle paths.

3.04 Residential Community Fencing

Consistent community fence design with respect to materials, color, style and criteria for locating fences shall be maintained throughout each residential community. The style, type and color of community fences established along Farmer Lane (FM 734) shall be continued along its length where community fencing is appropriate.

Along Cassandra Drive, Spectrum Drive and Neenah Avenue, the initial style, type and color

established at the first phase of construction for these secondary roadways shall be continued along their length. Note that the community fencing style along the roads is not necessarily the same.

3.05 Architectural Design Guidelines

3.05.01 General

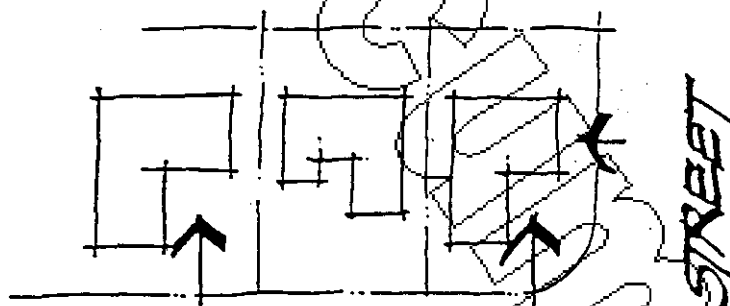
Single family detached and attached residential architecture design guidelines permit a wide range of types and styles within the overall development. The purpose of these standards is to encourage general techniques which are successful with a variety of buildings styles and materials.

3.05.02 Elevations

These guidelines are primarily concerned with the physical appearance of the community environment as perceived by residents and visitors. Therefore, it is the intent of these guidelines to apply to those frontages, boundaries, and perimeter edges that are visible to the public and hereinafter defined.

The term "primary elevation" means those surfaces of a building, structure or yard that can be perceived from an adjacent public access way. In the case of single family projects, this usually means the front and exterior side yard views at corner lots. In multi-family projects it may mean all four elevations of a structure.

PRIMARY ELEVATIONS

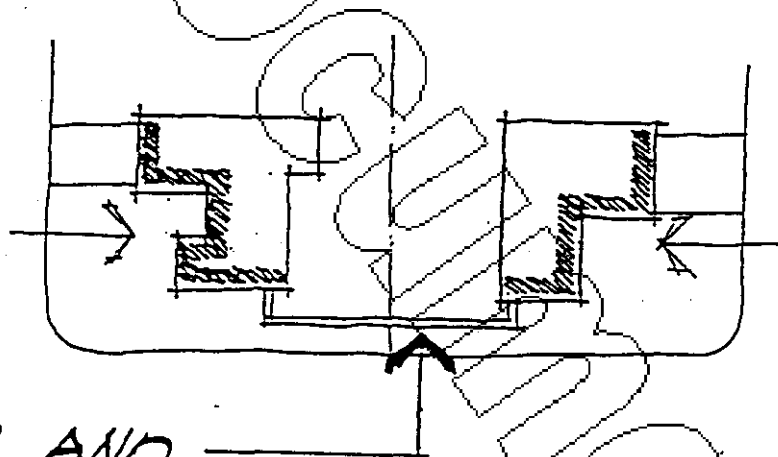
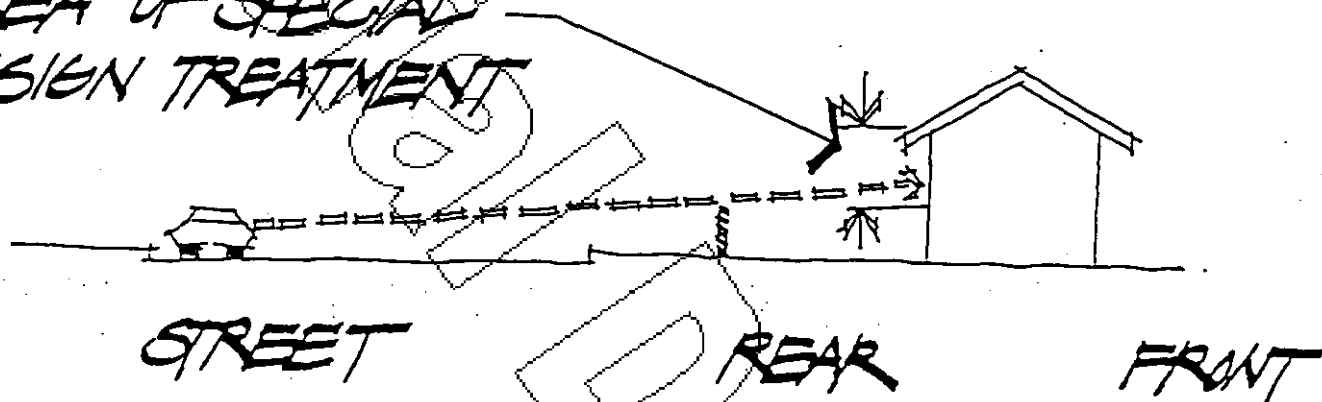


FRONT

SINGLE FAMILY

Building primary elevations should be designed for the greatest visual attractiveness of any side of the structure through use of superior design elements of shadow relief, color materials and architectural detailing.

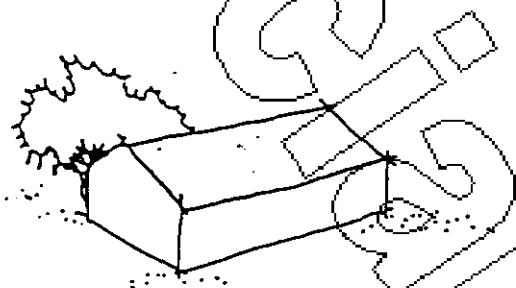
AREA OF SPECIAL
DESIGN TREATMENT



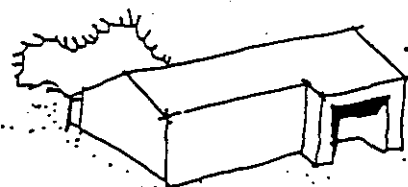
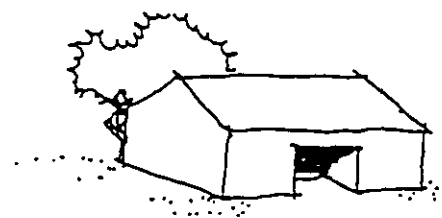
COMPATIBLE COLOR AND
MATERIAL WITH ARCHITECTURE

The way light strikes a building has a great deal to do with how it is perceived. Shadow areas give buildings depth and substance.

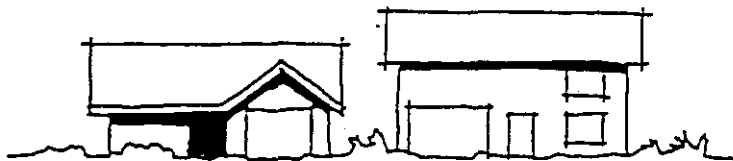
Every building should have shadow relief. Offsets, popouts, overhangs and recesses all may be used to produce effective shadow interest areas. Larger buildings require more shadow relief than do smaller buildings. Larger unbroken expanses of wall should usually be avoided.



NO SHADOW RELIEF



RECESSED AREA PROVIDES SHADOW RELIEF



AVOID



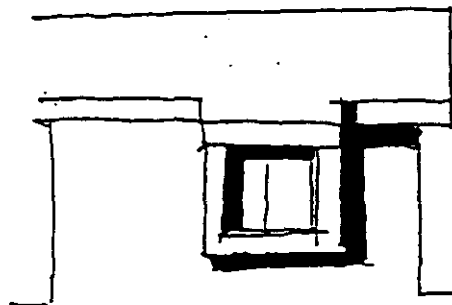
BETTER

Openings

Generally, openings are determined by the plan layout, view opportunities, furniture placement and privacy constraints. However, it is desirable to design openings to develop a strong architectural character, particularly on primary elevations.

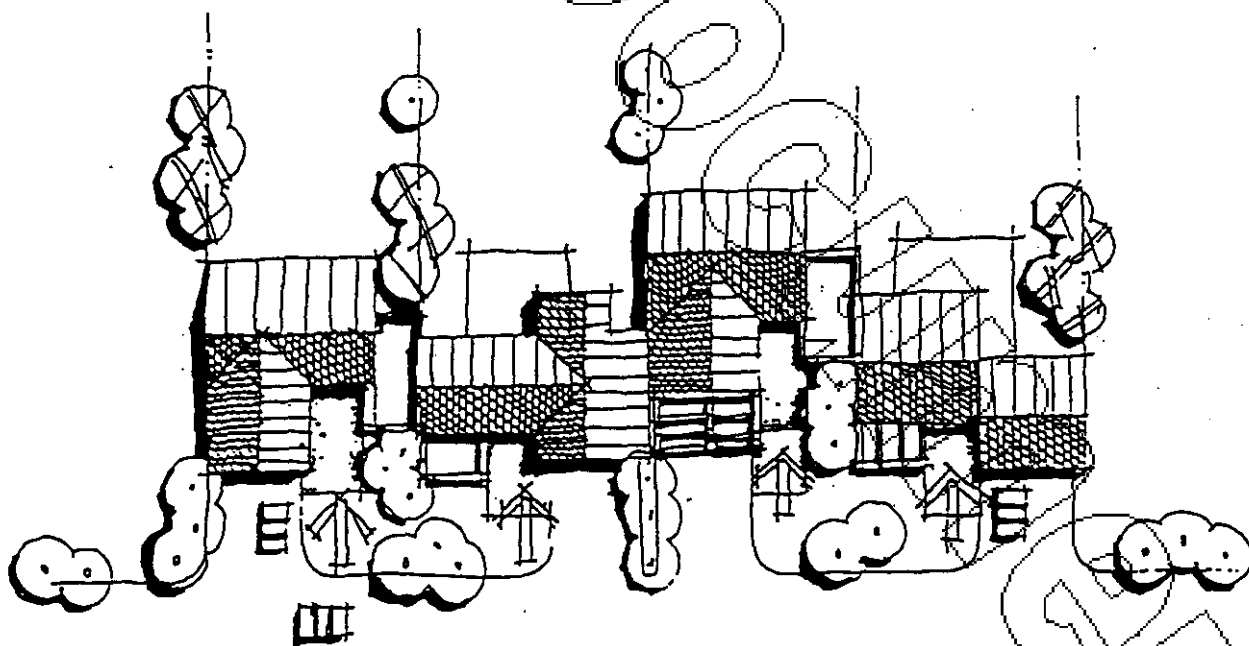


GABLE OVERHANG



SHED

In attached housing it is important to provide each unit with its own identity and entry. This can be accomplished by staggering and offsetting each separate unit and combining one and two story building forms to separate massing. This will also provide variety to the streetscape.



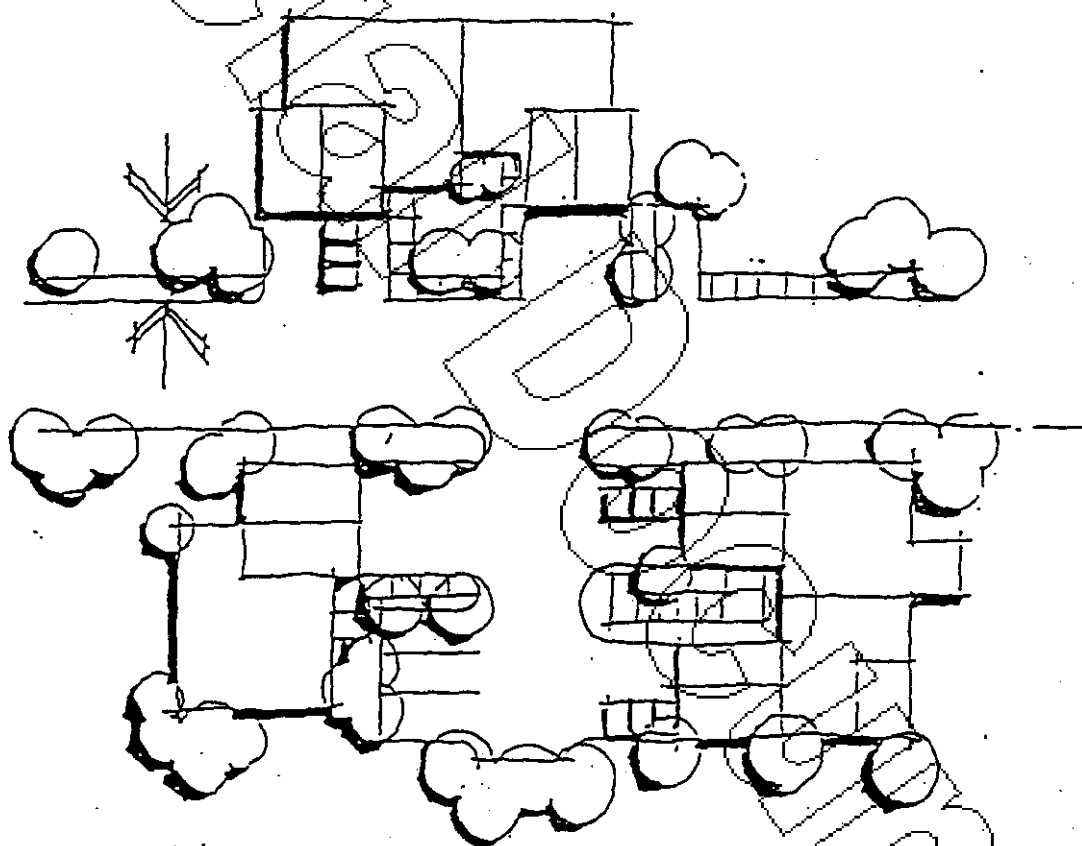
3.05.03 Material and Color

Wall and roof materials and colors of individual buildings should be compatible with neighboring buildings and fences. It is desirable to create continuity through the use of the following elements:

- A. Natural materials such as wood or stone;
- B. Large areas of color (avoid use of black pure white or primary colors);
- C. Mixed or uniform brick masonry;
- D. Small surfaces and trim that may be accented with a contrasting compatible adjacent color or trim;
- E. Roof materials which are consistent within the same structure and adjacent buildings.

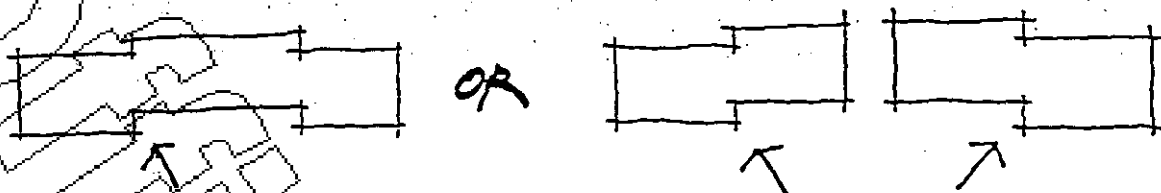
3.05.04 Site Plan Design

In attached housing, garages should be set back less than five (5) feet or greater than twenty (20) feet from the curb of the adjacent street or common driveway. The setback precludes the temptation of a car parking in front of a garage without adequate clearance for passing vehicles.



SITE PLANNING CRITERIA

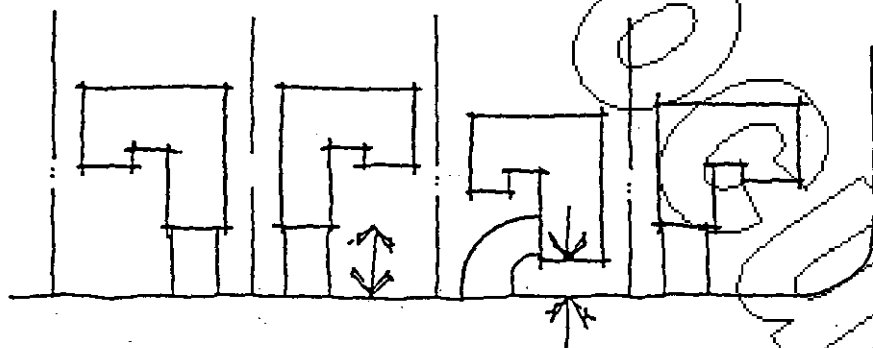
Building plans should incorporate simple jogs so that long roof planes and long wall elevations can be avoided.



Avoid repetition of very similar buildings and elevations which will produce monotonous elevations.



Providing a variety of building plans with differing setbacks result in variety of street scenes.



Access to Open Space from Residential Areas (Typical Condition)

The critical factor in rendering the open space useful is accessibility for use and maintenance. Everyone must have direct, convenient access to the open space and community facilities. Access by way of the pedestrian circulation linkage is to be handled as in the following example:

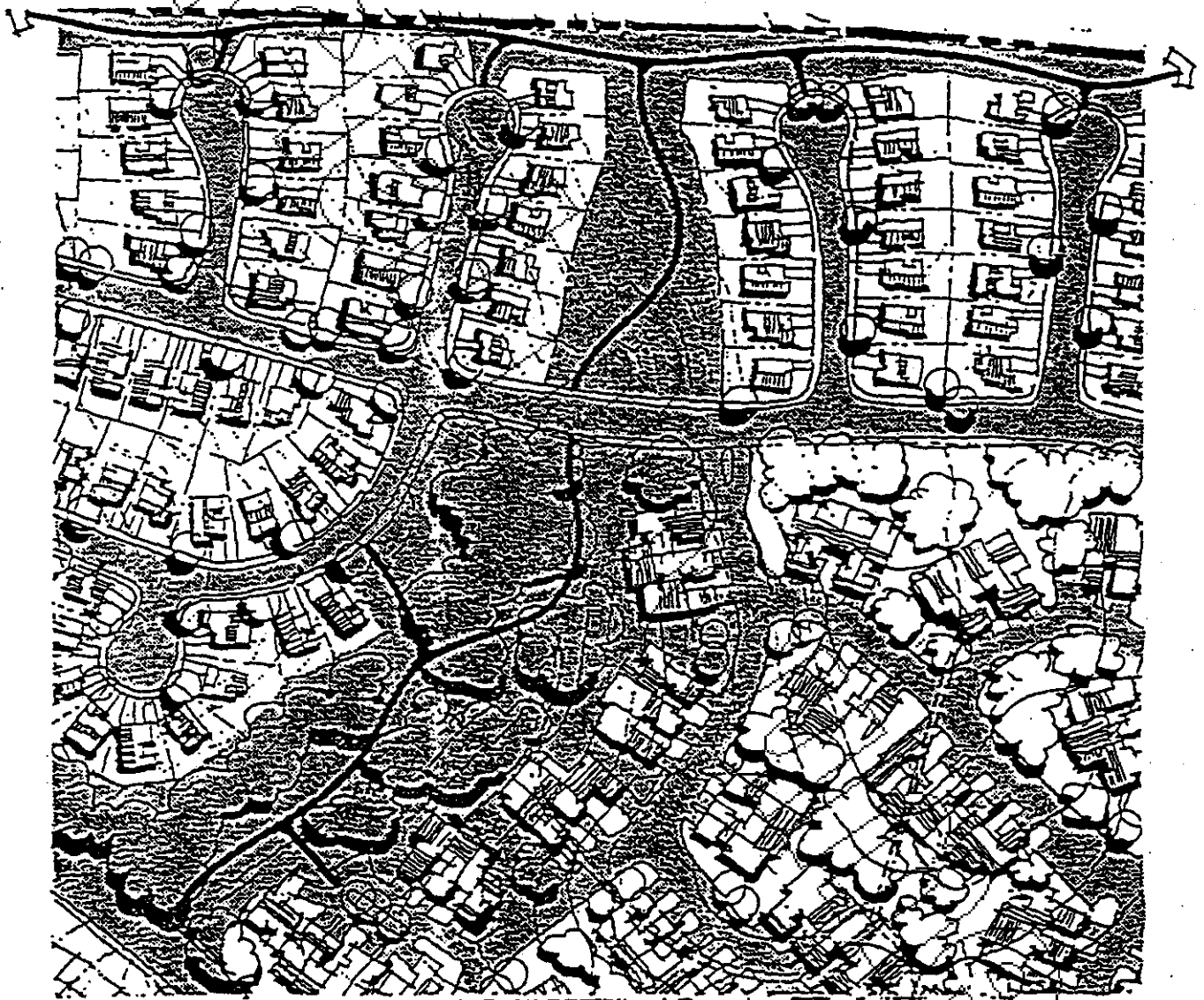


FIGURE 4

3.06 Landscape Architectural Design Guidelines

Purpose

The design objective of the Landscape Architectural Design Guidelines is to:

- a. Create an enhanced, visually pleasing street scene throughout Davis Spring;
- b. Utilize landscaping to establish project identity and to accentuate common entrance areas;
- c. Use landscaping and berms to screen parking areas, storage areas and loading areas;
- d. Encourage landscape designs which promote energy conservation through passive solar/heat management and reduce water consumption while maintaining a high level of aesthetic quality.

Landscape Concept

The use of intense landscaping color, and earthen forms will be used in strategic locations to define entrance, project units and serve functional goals of buffering and screening. Components of the overall landscape concept are as follows:

a. Flood Plain

Within the project boundaries are a number of natural drainage valleys which are visually significant. Where feasible, these landscapes should be maintained in natural grasses, trees and shrubs. Slopes and vegetation that are disturbed within the drainage courses should be reestablished to blend with surrounding landscaping.

b. Entrance Zones

To establish a project identity, entrance landscape treatments and signing regulations have been established. Individual lots are encouraged to refrain from fencing the entire property or lot area so that an "open"

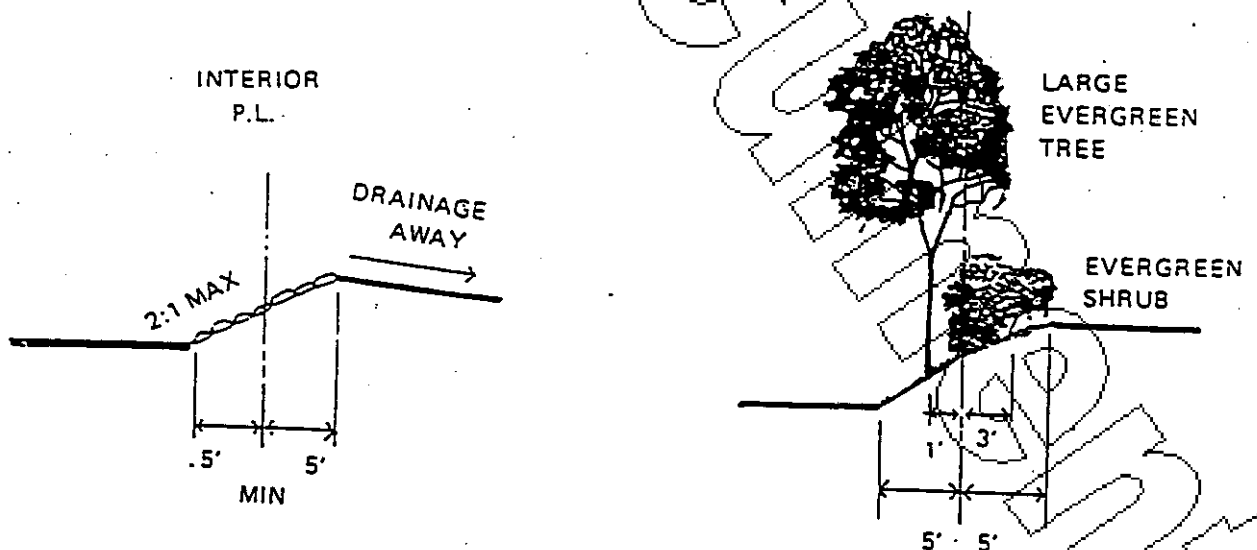
appearance occurs, especially in areas near the major access roads.

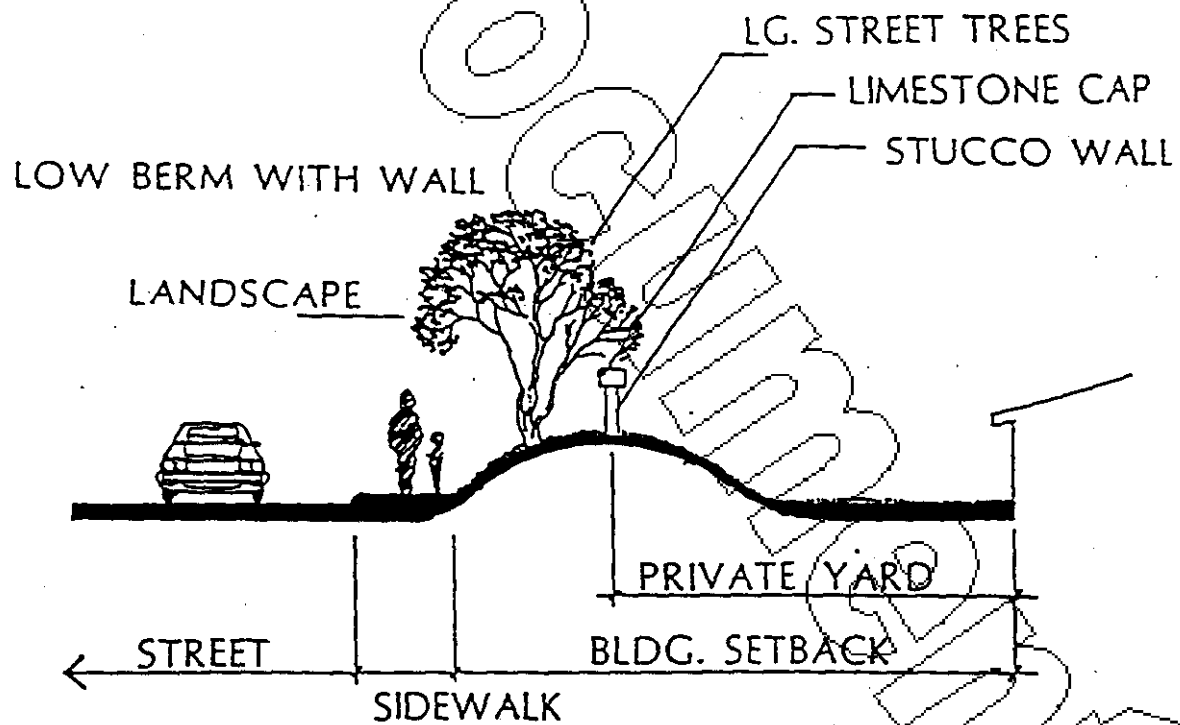
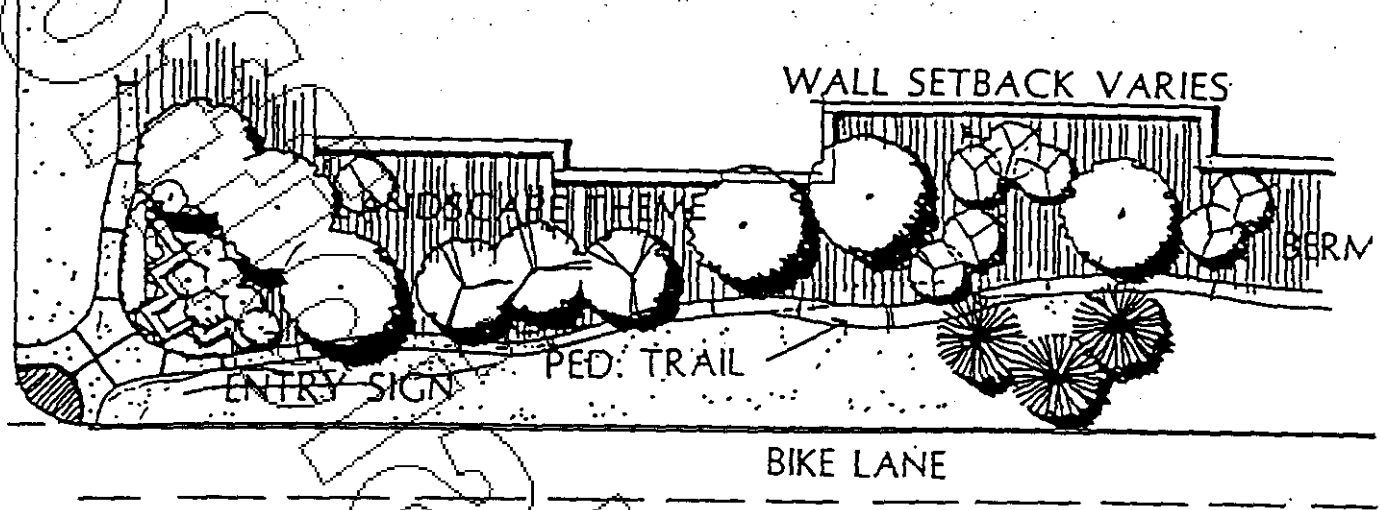
* **Project Level Entrances** - At arterial street entrances, project wide identification and landscape statements shall be established. These areas shall be community - wide common areas and shall consist of an earthen berm 3 to 6 feet in height with accent tree backdrop, annual color foreground and a project monument sign.

* **Neighborhood Level Entrance**- These entrance areas shall provide identification to residential neighborhoods. The entrance sign shall be privately owned and maintained and shall consist of an identification sign, tree screening backdrop and color groundcovers.

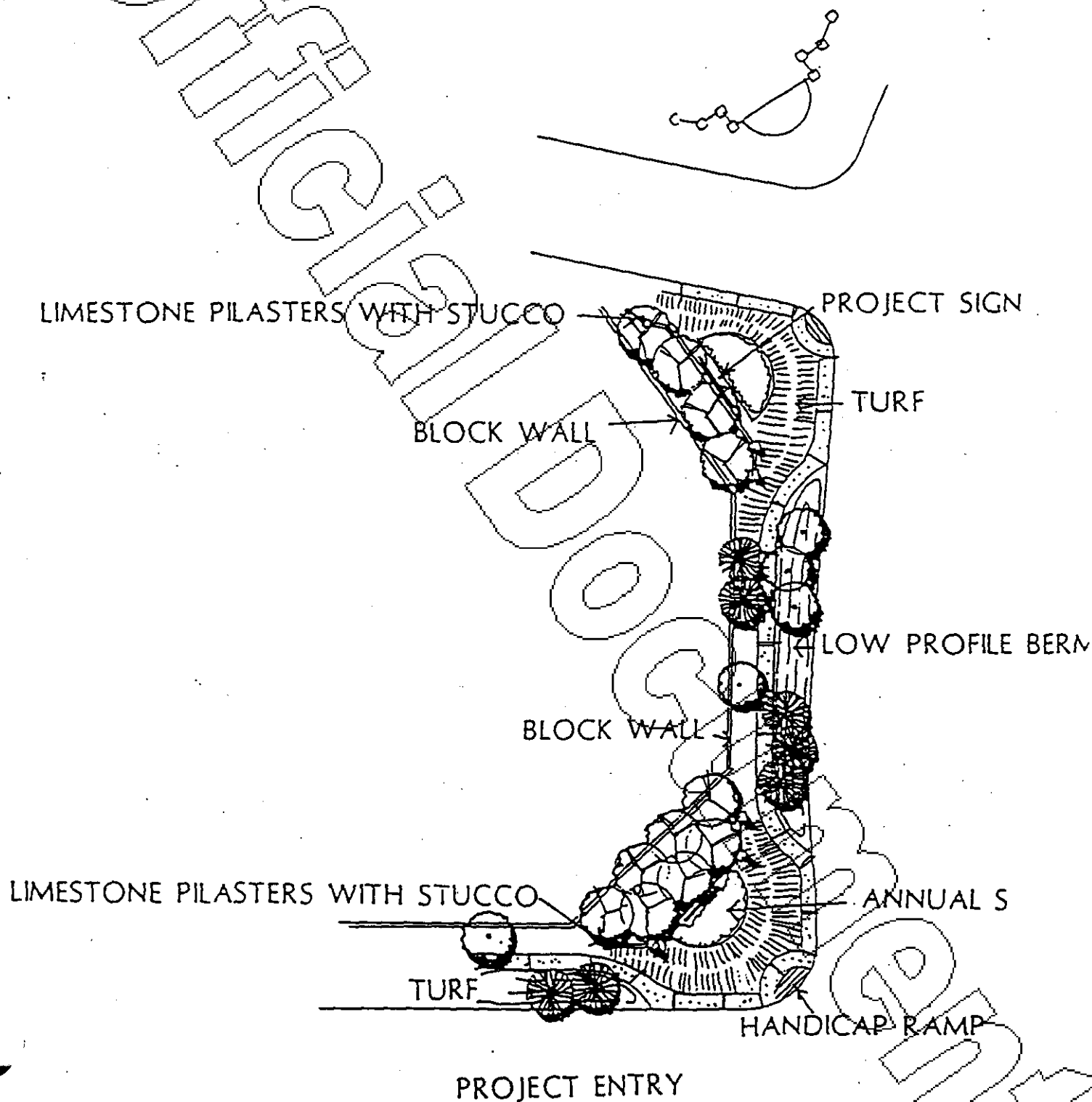
c. **Manufactured Slope Banks**

All manufactured slope areas over 24" high shall be permanently landscaped with an erosion control, drought tolerant plant material. Slopes over 3" slope shall have erosion control blankets or other permanent suitable erosion control device. Shrub massing and tree clusters shall be used to break the visual impact of the major slopes and to soften the building masses.

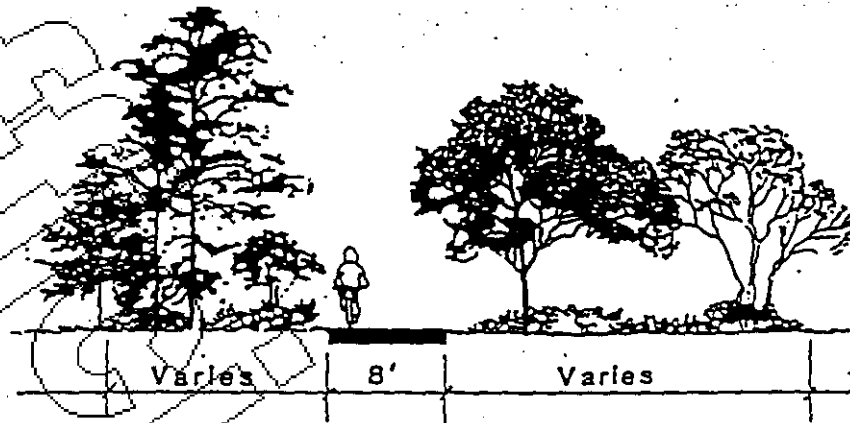




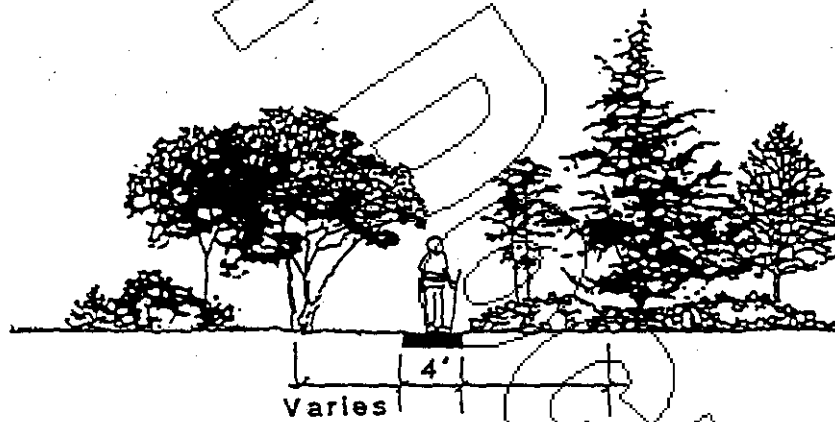
TYPICAL RESIDENTIAL ENTRY AND PERIMETER LANDSCAPING TREATMENT



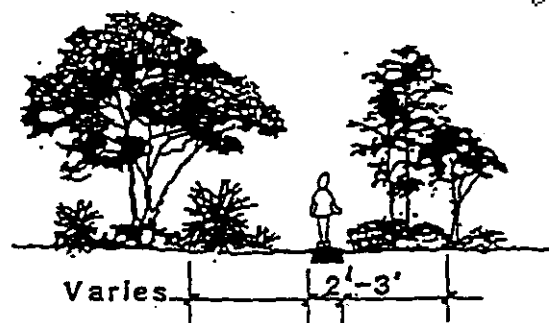
Cross Sections of Primary, Secondary and Tertiary Paths (Typical Condition)



PRIMARY PATH - Pedestrian and Bicycle Use

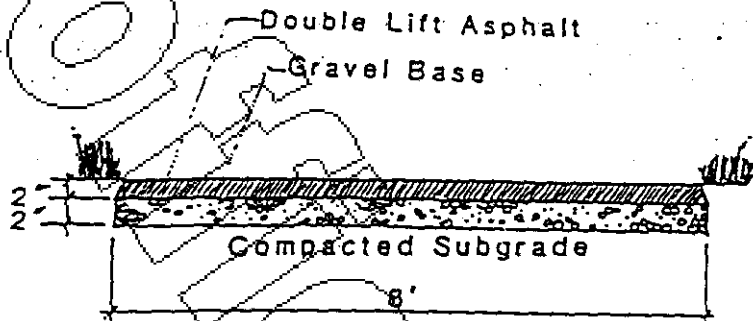


SECONDARY PATH - Pedestrian Use



TERTIARY PATH

Pathway Construction (Typical Condition)



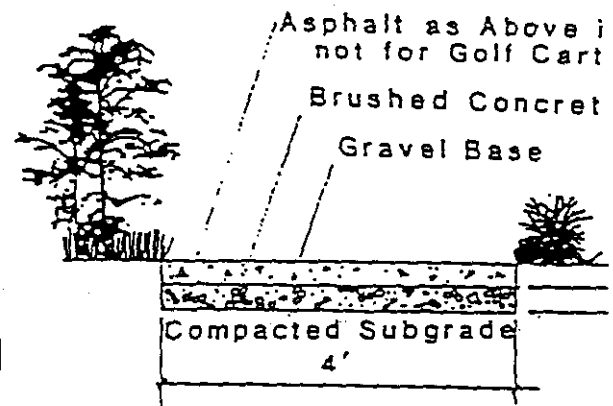
ASPHALT PATH (Primary or Secondary Path)

Construction Sequence:

1. Excavate 6" deep, 8' wide.
2. Compact subgrade.
3. Place gravel base and compact to 4".
4. Place asphalt, compact to 1-2".
5. Hand camp edge to 45 degrees.
6. Backfill to edge of walk and seed.

RECORDERS MEMORANDUM

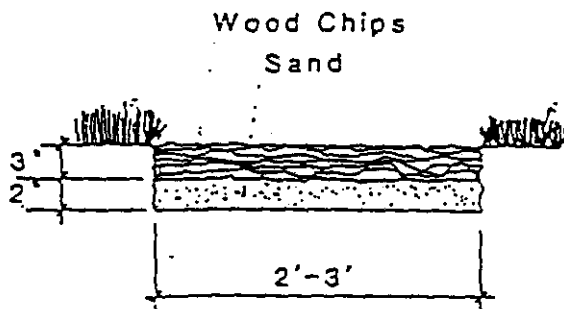
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CONCRETE PATH (Primary or Secondary Path)

Construction Sequence:

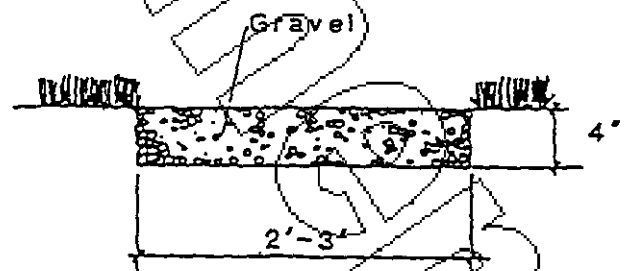
1. Excavate 8" deep and 4' wide.
2. Compact subgrade.
3. Place gravel base and compact to 4".
4. Place wire mesh in wood forms.
5. Pour 4" slab.
6. Backfill to edge of walk and seed.



WOOD CHIP PATH

Construction Sequence:

1. Excavate to 4" and 2-3' wide.
2. Place 2" of sand.
3. Place 4" of wood chips.



GRAVEL PATH

Construction Sequence:

1. Excavate to 4" and 2-3' wide.
2. Place 4" of gravel and compact

d. Landscape Maintenance

Maintenance of landscape areas including slope banks, parkways, streetscapes, and entrance areas, shall be the responsibility of a Property Owners Association or other suitable maintenance arrangement such as a Landscape and Open Space Maintenance District established for this purpose.

**SECTION FOUR - PROPERTY DEVELOPMENT STANDARDS & GUIDELINES -
OFFICE, COMMERCIAL & MULTI-FAMILY SECTION**

4.01 General Development Standards

The following sections deal with specific design standards and guidelines which have been developed to implement the high standards of non-single family development envisioned for Davis Spring. The success of this approach is dependent on establishing site planning, engineering and architectural design criteria which are specific enough to determine the physical appearance of the development, yet are flexible enough to allow designers of individual projects to design distinctive buildings of high quality while allowing the freedom to respond to changing market demands.

Mandatory Project Controls

Development standards which sometimes exceed City of Austin Zoning and Subdivision Regulations are proposed in order to further define and regulate future development, and ensure the long-term creation of value and protection of property within Davis Spring. This section concerns itself with those mandatory design controls which shape the proposed development as a whole. They represent a framework of major decisions within which a more flexible "sub-structure" of individual projects can occur. This section will describe in turn:

1. Land Use: the distribution of land uses on the site;
2. Open Space: the creation of a well-defined set of open space areas;
3. Vehicular Circulation: the recommended road network and sizing;
4. Pedestrian Circulation: a specific pedestrian circulation system;
5. Urban Design Controls: a coordinated approach to the form, size, materials and location of buildings.

4.01.01 Storm Drainage

Quality appearance and street landscaping are important components of the development plan. Because of this, open drainage "bar ditches" or open channels along arterial and collector roadways are to be avoided unless screened from view or unless no other solution is feasible. Drainage is to be handled as surface flow and collected in inlet structures and piped or otherwise conveyed in a closed conduit along Neenah Avenue, Cassandra Drive and Spectrum Drive.

4.02 Retail Commercial Development Standards

4.02.01 Site Planning Guidelines

The minimum site area is one (1) acre.

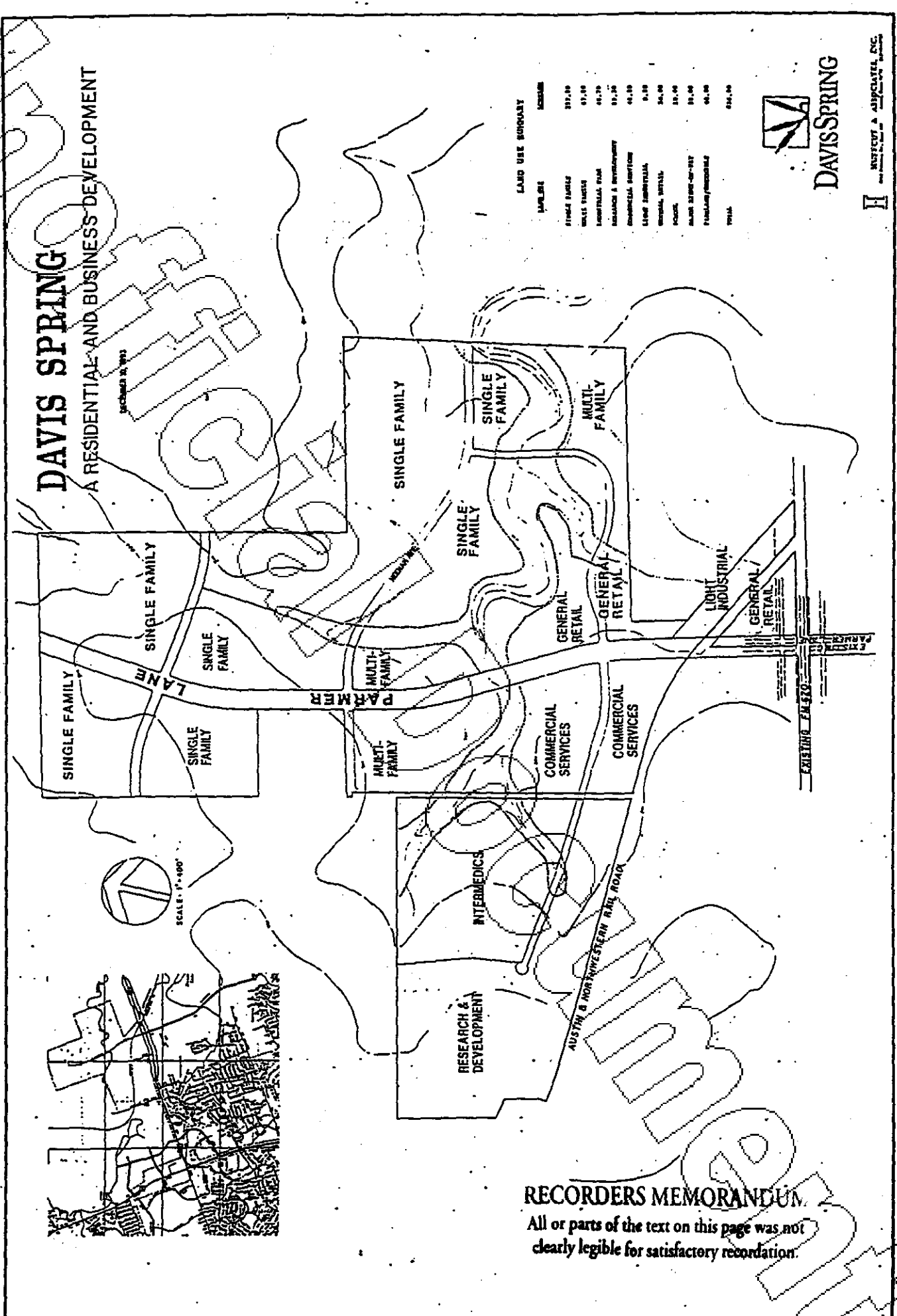
4.02.02 Permitted Uses

To allow the location of primarily retail commercial development uses and supportive uses for a community with a population over twenty thousand living within a 10 to 20 minute drive.

Business or trade school
Apparel stores
Specialty shops
Home furnishings
Major appliances/consumer electronics
Business support services
Arts and crafts studio/gallery
Drug store/pharmacy
Food/liquor
Building materials/garden
Hobby/special interest
Automotive supplies/service (limited)
Automobile rental or sales
Entertainment/cinema
Service station/car wash
Restaurants
Supermarkets
Commercial off-street parking
Financial and banking
Cultural facilities
Health care
Administrative and business offices
Discount department stores/catalog sales
Hotel/motel
Nightclub/cocktail lounge

DAVIS SPRING

A RESIDENTIAL AND BUSINESS DEVELOPMENT



LAND USE SURVEY

LAND USE	ACRES
SINGLE FAMILY	237.00
MULTI-FAMILY	91.00
GENERAL RETAIL	42.70
COMMERCIAL SERVICES	91.00
RESEARCH & DEVELOPMENT	42.00
INTERMEDICS	9.00
COMMERCIAL SERVICES	34.00
GENERAL RETAIL	32.00
LIGHT INDUSTRIAL	31.00
PAVING/REPAIRS	44.00
TOTAL	544.00



DAVIS SPRING

RECORDERS MEMORANDUM

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4.02.03 Building Setbacks

All setbacks shall be measured from the property line and/or ultimate right-of-way line of the bordering street(s).

Front Setback

Twenty-five (25) feet minimum for all buildings.

Side Yard Setback

Twenty-five (25) feet.

Rear Yard Setback

Twenty-five (25) feet.

4.02.04 Height Restrictions

Structures shall be limited to a maximum height of four (4) stories or sixty (60) feet.

4.02.05 Maximum Site Coverage

Sites shall be limited to a maximum lot building coverage of thirty-five (35) percent.

4.02.06 Parking Requirements

Parking requirements for Davis Spring will be in accordance with the City of Austin's requirements based on specific land uses.

4.02.07 Pedestrian Access

It is desirable for all development to provide pedestrian access to and around buildings proposed. Site plans should include consideration for pedestrian access connections from adjacent use areas in addition to sidewalks located within public street right-of-ways.

4.02.08 Landscape Requirements

Detailed landscaping and irrigation plans, prepared by a landscape architect, licensed landscaping contractor or architect shall be submitted and approved prior to the issuing of building permits. Landscape improvements shall be installed prior to the issuing of the Certificate of Use and Occupancy.

All landscaping referred to in this section shall be maintained in a neat and orderly fashion.

Front Yard Landscape Setback Area

General:

Landscaping in these areas shall consist of a combination of street trees, trees, turf, ground cover, shrubbery and graded berms of between two feet and three feet above grade situated to provide partial visual screening of parking areas.

The entire area between the curb and the building setback line or paved parking area shall be landscaped, except for any driveway or paved area in said area.

Side Yard and Rear Yard

General:

All unpaved areas not utilized for parking, access or storage shall be landscaped utilizing ground cover, turf and/or shrubs and tree materials unless completely screened from view from adjacent public right-of-ways, access roadways or neighboring parcels.

Undeveloped Areas

Undeveloped areas proposed for future expansion shall be maintained in a weed and trash free condition, but need not be landscaped.

Screening

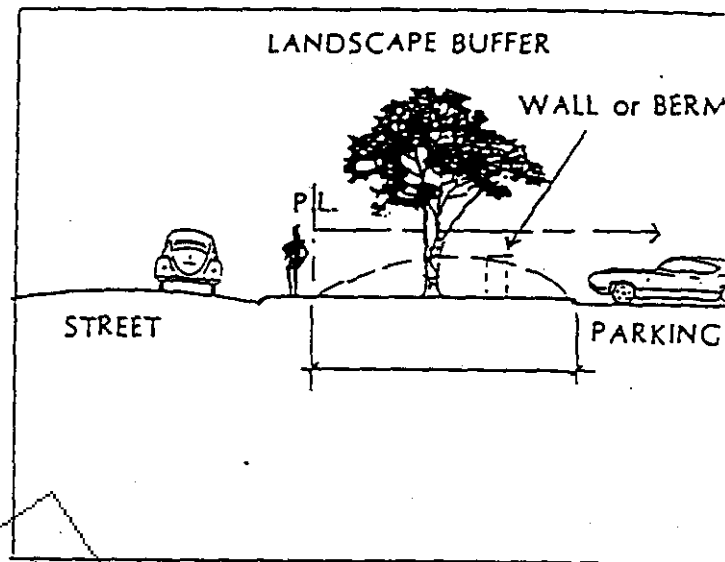
Areas used for parking should be partially screened from view or interrupted by landscaping and/or fencing as seen from access streets, freeways, and adjacent arterials and shall comply with City of Austin landscaping standards. Plant materials used for screening purposes shall consist of lineal or grouped masses of shrubs and/or trees. Berms and walls should be used for decorative screening as well. See Sections 2.04.04 and 2.04.06 herein. It is not intended that complete visual screening buildings or parking be achieved

Boundary Areas

Boundary landscaping is required along interior property lines and should be of sufficient

TYPICAL LANDSCAPE TREATMENTS ALONG MAJOR ROADWAYS

WHERE COMMERCIAL BACKS UP
TO A MAJOR ARTERIAL



dimensions to accommodate the number of required trees. Trees, greater than or equal in number to one (1) tree per thirty (30) lineal feet of each property line and sized at 2" caliper or larger, shall be located in the above defined areas, in addition to required ground cover and shrub material.

All landscaped areas shall be separated from adjacent vehicular parcel areas by a curb or wall, at least six (6) inches higher than the adjacent vehicular paved area.

Parking Areas

Trees, greater than or equal in number to one (1) per each six (6) parking stalls, shall be provided in parking areas and shall be distributed so as to form visually pleasing patterns.

4.02.09 Walls, Fences and Barriers

Walls, fences and barriers within the Retail Commercial site area shall be limited to eight (8) feet in height maximum above grade. Walls, fences or barriers shall be used for screening of loading, outdoor storage areas and refuse collection as well as for creating privacy and security. Where walls are located near street intersections, their height and location shall be such as to permit adequate sight distance for vehicular traffic and pedestrians. Where walls, fences or barriers exceed 100 feet on a continuous run, the length shall be relieved by projections, offsets or staggering of planes, insets with landscaping, changes in surface or material or similar techniques to relieve monotony.

4.02.10 Loading Areas

Street loading in other than major public streets, shall be allowed providing the loading dock is set back a minimum of fifty (50) feet from the street right-of-way line, or seventy (70) feet from the street center line, whichever is greater. Said loading area must be screened from view from adjacent public streets.

4.02.11 Storage Areas

All outdoor storage shall be visually screened from access streets, freeways and adjacent

property. Said screening shall form a completely opaque screen up to a point eight (8) feet in vertical height but need not be opaque above that point.

Outdoor storage shall be meant to include all company owned and operated motor vehicles, with the exception of passenger vehicles.

No outdoor storage shall be permitted between a frontage street and the building line unless set back a minimum of fifty (50) feet from the street right-of-way line, or seventy-five (75) feet from the street centerline, whichever is greater.

4.02.12 Refuse Collection Areas

All outdoor refuse collection areas shall be visually screened from public streets, freeways and adjacent property. Said screening shall form a complete opaque visual barrier such that refuse collection receptacles cannot be seen from public streets, freeways and adjacent property.

No refuse collection area shall be permitted between a frontage street and the building line unless set back a minimum of twenty-five (25) feet from the street right-of-way or fifty (50) feet from the street centerline, whichever is greater.

4.02.13 Telephone and Electrical Services

All "on-site" electrical lines (excluding lines in excess of 12 KV) and telephone lines shall be placed underground. Transformer or terminal equipment other than pole mounted shall be partially screened from view from streets and adjacent properties by walls, shrubs, hedges, fences or like improvements.

4.02.14 Sign Restrictions

Sign Area: General Standard

Only one (1) single or double faced identification sign shall be permitted per major street entrance. Only one (1) collective (multiple tenant) sign for individual businesses shall be permitted per major street entrance with a maximum of three (3) per site. There shall be no more than one (1) sign per legal lot.

No sign shall exceed an area equal to one (1) square foot of sign for each one (1) foot of lineal frontage of the building or store. However, no sign shall exceed one hundred fifty (150) square feet in area per face.

Building Attached Sign:

In no event shall an identification sign placed on a building comprise more than ten (10) percent of the area of the elevation upon which the sign is located. Total building attached signage shall not exceed 20% of total front building surface. Said signs shall be fabricated and attached to the wall or permanent fixture. Awning signs are permitted. Signs painted directly on the surface of the wall shall not be permitted unless designed as an integral part of the building architecture.

Ground Sign:

An identification ground sign shall not exceed ten (10) feet above grade in vertical height. Ground signs less than 25 feet from street right-of-way shall not exceed sixty-four (64) square feet or be higher than six (6) feet. All other ground signs shall not exceed one hundred fifty (150) square feet in area per single face and shall not be erected in the first twenty-five (25) feet, as measured from the right-of-way line, of any public street. However, the above standards shall not apply to the Community Directional Signs.

Multi-Tenant Directory Sign:

One (1) directory sign listing only the name of the forms or business on a site shall be allowed per major entrance, with a maximum of three (3) permitted per site. Said sign shall be limited to a maximum height of twenty (20) feet. Panels

identifying each business shall total no larger than three (3) feet in height and fifteen (15) feet in length.

Temporary Signs:

All signs which are temporary in nature such as construction signs, future tenant identification and temporary directional signs shall conform to the following standards:

Free standing temporary signs are permitted and shall complement adjacent permanent signage. Construction shall be wood with monotone background paint similar or complementary in color to permanent signage. Total sign area shall not exceed forty-eight (48) square feet.

Community Directional and/or Identification Sign

Directional signs shall not exceed twenty-five (25) square feet of sign area per sign face and height shall not exceed six (6) feet.

General Exception:

It is the intent of the sign restrictions to control the signage near public right-of-way and open space areas. Any signage erected 300 feet from any adjacent public right-of-way or open space area shall be exempted from these sign restrictions.

4.03 Research and Development

4.03.01 Site Planning Guidelines

The minimum contiguous site area is 5 acres.

4.03.02 Permitted Uses

The intent of this use area is to provide a special district with the principal focus of research and development activity.

Research testing services
 Research warehousing services
 Research assembly services
 Administrative and business offices
 Art and craft studio (limited)
 Business support services
 Business or trade school
 Communications services
 Financial services
 Medical offices
 Personal services
 Professional offices
 Restaurant (convenience)
 College and university facilities
 Convalescent services
 Cultural services
 Day care services (general)
 Day care services (limited)
 Emergency residential care services
 Hospital services (limited)
 Local utility services
 Public or private educational facilities
 Religious assembly

Fabrication, processing, manufacturing, refining or resource extraction as a principal activity would be inappropriate uses in this district. All uses shall be subject to the requirements of the R&D district of the Austin city codes.

4.03.03 Building Setbacks

All setbacks shall be measured from the property line and/or ultimate right-of-way line of the frontage street(s).

Front Yard Setback

Minimum required setback, 75 feet. For property located across the street from, or adjoining, or

within 540 feet of property zoned SF-5 or more restrictive, refer to the City of Austin Compatibility Standards beginning with Section 4700.

Street Side Yard Setback

Minimum required setback, 100 feet on any portion of a site within 100 feet of property classified used as LA, RR, SF-1, SF-2, SF-3, SF-4, SF-5, or SF-6; reduced to 25 feet within 100 feet of property classified or used as MF-1, MF-2, MF-3, MF-4, MF-5, MF-6 or MH. For property zoned or used SF-5 or more restrictive, refer to the City of Austin Compatibility Standards beginning with Section 4700.

Interior Side Yard Setback

Minimum required setback, 100 feet on any portion of property classified or used as LA, RR, SF-1, SF-2, SF-3, SF-4, SF-5, or SF-6; reduced to 25 feet within 100 feet of property classified or used as MF-1, MF-2, MF-3, MF-4, MF-5, MF-6 or MH; reduced to 15 feet with 100 feet of property classified or used as NO, LO, GO, LR, or GR; reduced to 10 feet with 100 feet of property classified or used as L, CBD or less restrictive. For property located across the street from, or adjoining; or within 540 feet of property zoned or used SF-5 or more restrictive, refer to the City of Austin Compatibility Standards beginning with Section 4700.

Rear Yard Setback

Minimum required setback, 100 feet on any portion of property classified or used as LA, RR, SF-1, SF-2, SF-3, SF-4, SF-5, or SF-6; reduced to 25 feet within 100 feet of property classified or used as MF-1, MF-2, MF-3, MF-4, MF-5, MF-6 or MH; reduced to 15 feet with 100 feet of property classified or used as NO, LO, GO, LR, or GR; reduced to 10 feet with 100 feet of property classified or used as L, CBD or less restrictive. For property located across the street from, or adjoining; or within 540 feet of property zoned or used SF-5 or more restrictive, refer to the City of Austin Compatibility Standards beginning with Section 4700.

4.03.04 Height Restrictions

Structures shall be limited to a maximum height of four (4) stories or sixty (60) feet. For property located across the street from, or adjoining or within 540 feet of property zoned or used SF-5 or more restrictive, refer to the City of Austin Compatibility Standards beginning with Section 4700.

4.03.05 Maximum Site Coverage

Maximum building coverage of thirty-five (35) percent is allowed. Maximum impervious coverage shall not exceed 50 percent on slopes of 0-15% slope gradient. No impervious cover is allowed on slopes of greater than 15% gradient.

4.03.06 Parking Requirements

Adequate off-street parking shall be provided to accommodate all parking needs for the site. The intent is to eliminate the need for any on-street parking.

Required off-street parking shall be provided on the site of the use served, or on a contiguous site or within three hundred (300) feet of the subject site. Where parking is provided on other than the site concerned, a recorded document shall be approved, filed and signed by the owners of the alternate site stipulating to the permanent reservation of use of the site for said parking. In no event shall overnight on street parking be permitted.

The following guide shall be used to determine parking requirements:

Office

Four (4) spaces for each one thousand (1000) square feet of total gross office space.

Research Testing and Research Assembly

Two (2) parking spaces for each three (3) employees, but in no event less than three (3) spaces for each one thousand (1000) square feet of gross floor area.

Warehouse

Two (2) parking spaces for each three (3) employees, but in no event less than one (1) space for each one thousand (1000) square feet of gross floor area for the first twenty thousand (20,000) square feet; one (1) space for each two thousand (2000) square feet of gross floor area for the second twenty thousand (20,000) square feet; one (1) space for each four thousand (4000) square feet of gross floor area for areas in excess of the initial forty thousand (40,000) square feet of floor area of the building.

If there is more than one shift, the number of employees on the largest shift shall be used in determining parking requirements.

4.03.07 Landscaping Requirements

Detailed landscaping and irrigation plans, prepared by a landscape architect, licensed landscaping contractor or architect shall be submitted and approved prior to issuing of building permit and installed prior to issue of certificate of Use and Occupancy.

All landscaping referred to in this section shall be maintained in a neat and orderly fashion.

Front Yard Setback Area

General:

Landscaping in these areas shall consist of an effective combination of street trees, trees, ground cover and shrubbery. All unpaved areas not utilized for parking shall be landscaped in a similar manner.

Neenah Avenue and Spectrum Drive Frontages:

The entire area between the curb and the building setback line shall be landscaped, except for any access driveway, parking or paved areas.

Side and Rear Yard Setback Area

General:

All unpaved areas not utilized for parking and storage, shall be landscaped utilizing ground cover and/or shrub and tree materials.

Undeveloped Areas:

Undeveloped areas proposed for future expansion shall be maintained in a weed and trash free condition but need not be landscaped.

Screening

Areas used for parking and loading shall be landscaped and/or fenced in such a manner as to interrupt or screen said areas from view from access streets, and adjacent properties by a combination of berms and plant materials. Plant materials used for this purpose shall consist of lineal or grouped masses of shrubs and/or trees. Berms should be designed with between 3:1 and 6:1 vertical slopes and be approximately 2 to 5 feet in height above grade. See Sections 2.04.04 and 2.04.06 herein.

Parking Areas

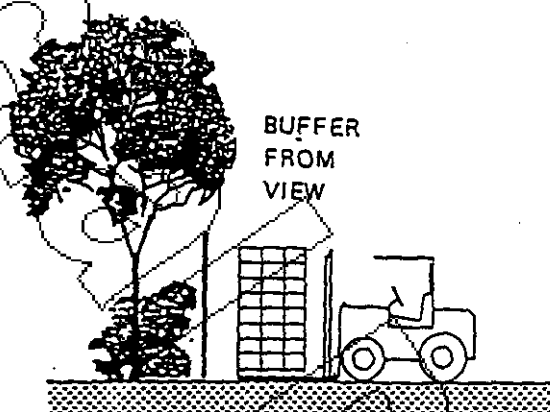
Trees shall be provided in parking areas per City of Austin landscape ordinance requirements.

4.03.08 Walls, Fences and Barriers

Walls, fences and barriers within the Research and Development site areas shall be limited to ten (10) feet in height maximum. Walls, fences or barriers shall be used for screening of loading, outdoor storage areas and refuse collection as well as for creating privacy and security. Where walls are located near street intersections, their height and location shall be such as to permit adequate sight distances for vehicular traffic and pedestrians. Where walls, fences or barriers exceed 200 feet on a continuous run, that length shall be relieved by projections, offsets or staggering of planes, insets with landscaping, changes in surface or material or similar techniques.

4.03.09 Loading Areas

Street side loading shall be allowed provided the loading dock is set back a minimum of seventy (70) feet from the street right-of-way line or one hundred ten (110) feet from the street centerline, whichever is greater. Said loading area must be screened from view from adjacent streets.



4.03.10 Storage Areas

All outdoor storage shall be visually screened from access streets, and adjacent property. Said screening shall form a complete opaque screen up to a point eight (8) feet in vertical height but need not be opaque above that point.

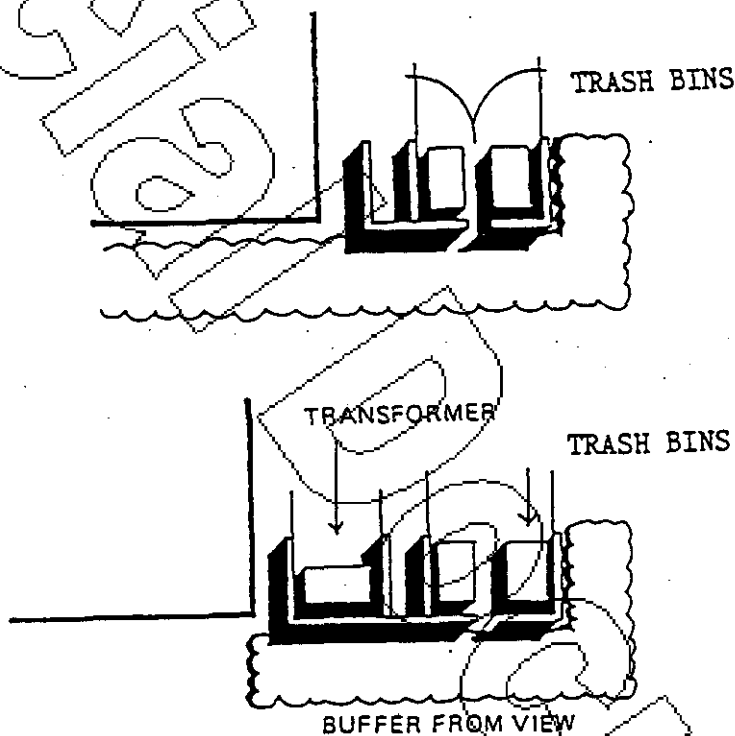
Outdoor storage shall be meant to include all company owned and operated motor vehicles, with the exception of passenger vehicles.

No outdoor storage shall be permitted between a frontage street and the building line unless set back a minimum of fifty (50) feet.

4.03.11 Refuse Collection Areas

All outdoor refuse collection areas shall be visually screened from access streets, and adjacent property by a complete opaque screen.

No refuse collection areas shall be permitted between a frontage street and the building line unless all refuse containers are completely screened from the frontage street.



4.03.12 Sign Restrictions

Signs visible from the exterior of any building may be lighted, but no signs or any other contrivance shall be devised or constructed so as to rotate, flash, gyrate, blink or move in any animated fashion.

Signs shall be restricted to advertising only the person, firm, company or corporation operating the use conducted on the site, the product produced or sold thereon or the nature of the business being conducted.

Sign Quantity

One (1) single faced or double faced sign shall be permitted per major entry. No sign shall exceed one hundred fifty (150) square feet in area per face. No pole signs are allowed.

Sale of Lease Sign

A sign advertising the sale, lease, or hire of the site shall be permitted in addition to the other signs listed in this section. Said sign shall not exceed a maximum area of forty-eight (48) square feet and shall be set back a minimum of twenty-five (25) feet from a public right-of-way.

Ground Sign

All ground signs shall not exceed eight (8) feet above grade in vertical height and shall be located twenty-five (25) feet or greater from street right of ways unless less than sixty-four (64) square feet in area per face. However, the above standards shall not apply to the Community Directional Sign and Special Purpose Sign.

Special Purpose Sign

Signs used to give directions to traffic or pedestrians or give instructions as to special conditions shall not exceed a total of ten (10) square feet (single face) in area and shall be permitted in addition to the other signs listed in this section. These signs shall contain no advertising message.

Building Attached Signs

Building attached signs shall not comprise more than ten (10) percent if the area of the elevation upon which the sign is located. Signs shall not exceed 20% of the total front building surface. Said signs shall be fabricated and attached; signs painted directly on the surface of the wall shall not be permitted unless designed as an integral part of the building architecture.

In the instance of a multiple tenancy building, each individual business may have a wall sign over or adjacent to the entrance to identify the business. Said sign shall be limited to twelve (12) inch high letters. Said sign must be oriented toward the parking area for that building.

Construction Sign

One (1) construction sign denoting the architects, engineers, contractor, and other related subjects, shall be permitted upon the commencement of construction. Said sign shall be a maximum of eight (8) feet in height and forty-eight (48) square feet in area and shall conform with the requirements of sale or lease signs, and will be permitted until such time as a final inspection of the building(s) designates said structure(s) fit for occupancy, or the tenant is occupying said building.

Future Tenant Identification Sign

A sign listing the name of future tenants, responsible agent or Realtor, and identification of the complex shall be permitted. Said sign shall be a maximum of eight (8) feet in height and forty-eight (48) square feet in area and shall conform with the requirements of sale or lease signs and will be permitted until such time as the tenant is occupying said building(s).

4.04 Office Development Standards

4.04.01 Site Planning Guidelines

Minimum site area is sixty thousand (60,000) square feet.

4.04.02 Permitted Uses

To allow the location of primarily office uses and office support services.

Administrative and business offices
Financial or professional offices
Business support services
Business or trade schools
Communication services
Medical offices
Personal services
College and university facilities
Convalescent/health care services
Cultural services
Private educational facilities
Restaurants

4.04.03 Building Setbacks

All setbacks shall be measured from the property line and/or ultimate right-of-way line of the frontage street(s).

Front Yard Setback

Thirty (30) feet

Side Yard Setback

Fifteen (15) feet to property line; twenty-five (25) feet to public streets.

Rear Yard Setback

Fifteen (15) feet to property line; twenty-five (25) feet to public streets.

4.04.04 Height Restrictions

All structures within the "GO" Zone, shall be limited to a maximum height of five (5) stories or sixty (60) feet. Additionally, properties zoned "LO" shall be limited to three (3) stories or forty (40) feet.

4.04.05 Maximum Site Coverage

Sites shall be limited to a maximum lot building coverage of fifty (50) percent, not including parking structures. Parking structures shall be limited such that the total site coverage

including all buildings does not exceed sixty (60) percent of the lot area. Maximum total site floor area ratio (FAR) shall be as indicated for individual sites on Exhibit 2 - Land Use Plan.

4.04.06 Parking Requirements

Required off-street parking shall be provided on the site of the use served, or on a contiguous site or within four hundred (400) feet of the subject site. The quantity of parking spaces provided shall be as required by the City of Austin ordinances regarding parking.

4.04.07 Landscape Requirements

Detailed landscaping and irrigation plans, prepared by a landscape architect, licensed landscaping contractor or architect shall be submitted and approved prior to issuing of building permits and landscape improvements installed prior to issue of Certificate of Use and Occupancy.

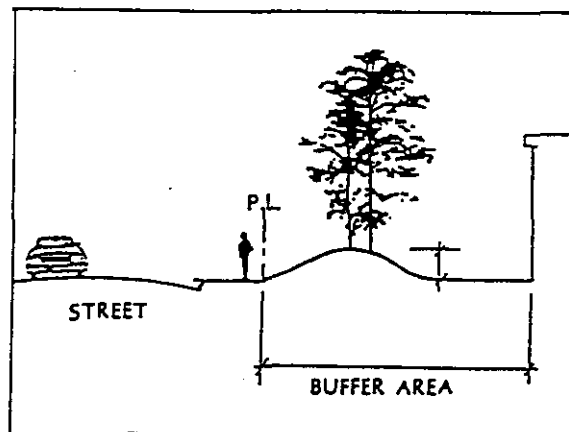
All landscaping referred to in this section shall be maintained in a neat and orderly fashion.

Front Yard Landscape Setback Area

General:

Landscaping in these areas shall consist of an effective combination of street trees, trees, turf, ground cover, shrubbery and graded berms of between 3:1 and 6:1 vertical slope and two feet to four feet above grade situated to provide partial visual screening of parking areas. See Section 2.04.04 herein.

The entire area between the curb and the building setback line or paved parking area shall be landscaped, except for any driveway, parking or paved areas.



Side Yard and Rear Yard

General:

All unpaved areas not utilized for parking, access or storage, shall be landscaped utilizing ground cover, turf and/or shrubs and tree materials unless completely screened from view from adjacent public right-of-ways, access roadways or neighboring parcels.

Undeveloped Areas

Undeveloped areas proposed for future expansion shall be maintained in a weed and litter free condition, but need not be landscaped.

Screening

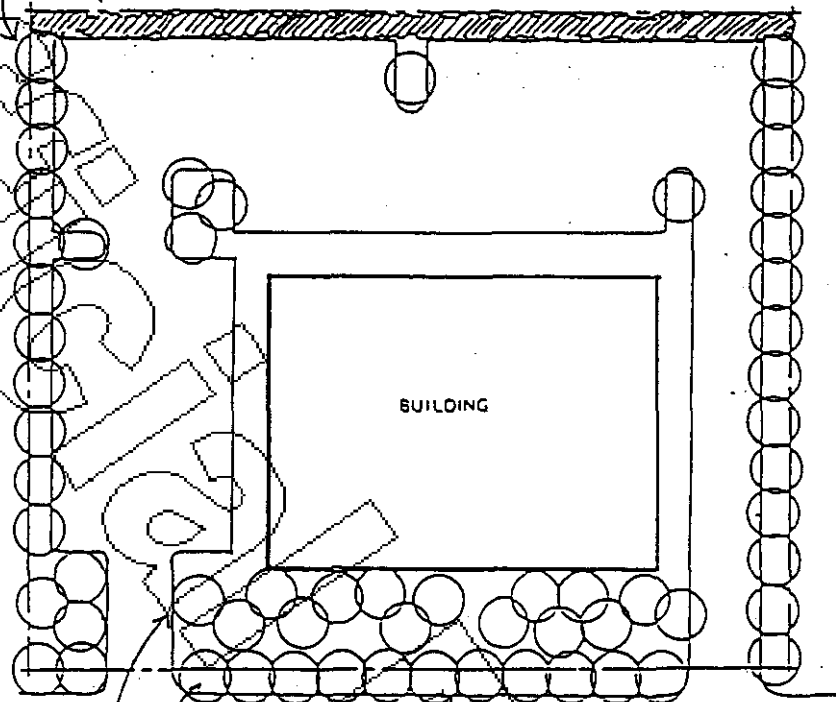
Areas used for parking shall be partially screened from view or interrupted by landscaping and/or fencing as seen from access streets, freeways, and adjacent arterials. Plant materials used for screening purposes shall consist of lineal or grouped masses of shrubs and/or trees. Berms and walls should be used for decorative screening as well. See Section 2.04.04 and 2.04.06 herein. It is not intended that complete visual screening of buildings be achieved.

Boundary Areas

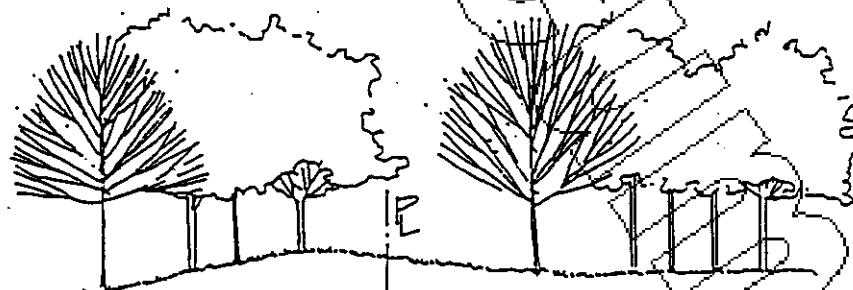
Boundary landscaping is required along interior property lines and should be of sufficient dimensions to accommodate the number of required trees. Trees, greater than or equal in number to one (1) tree per twenty-five (25) lineal feet of each property line and sized at 2" caliper or larger, shall be located in the above defined areas in addition to required ground cover and shrub material.

All landscaped areas shall be separated from adjacent vehicular parcel areas by a curb or wall, at least six (6) inches higher than the adjacent vehicular paved area.

SIDE PLANTING—DEFINE PARCELS;
REDUCE IMPACT OF ADJACENT PARCELS
REAR PLANTING—BUFFER; SCREENS
IMPACT OF PARKING, SERVICE



STREET TREES—CREATE CONTINUITY,
DEFINE STREET HIERARCHY
SETBACK PLANTING—DRIVEWAY CUTS
AND ADDITIONAL LANDSCAPING



OPEN SPACE

USE

GRADING AND MIXED TREE GROUPINGS
TO REINFORCE INFORMAL EDGE

Parking Areas

Trees, as required by the City of Austin Landscape Ordinance, shall be provided in parking areas and shall be distributed so as to form a visually pleasing pattern.

4.04.08 Walls, Fences and Barriers

Walls, fences and barriers within office site areas shall be limited to eight (8) feet in height maximum above grade. Wall, fences or barriers shall be used for screening of loading, outdoor storage areas and refuse collection as well as for creating privacy and security. Where walls are located near street intersections, their height and location shall be such as to permit adequate sight distances for vehicular traffic and pedestrians. Where walls, fences or barriers exceed 200 feet on a continuous run, that length shall be relieved by projections, offsets or staggering of planes, insets with landscaping, changes in surface or material or similar techniques.

4.04.09 Loading Areas

Street loading shall be allowed providing the loading dock is set back a minimum of fifty (50) feet from the street right-of-way line, or seventy (70) feet from the street center line, whichever is greater. Said loading area must be screened from view from adjacent public streets. See figure in Section 4.03.09 herein.

4.04.10 Storage Areas

All outdoor storage shall be visually screened from access streets, freeways and adjacent property. Said screening shall form a completely opaque screen up to a point eight (8) feet in vertical height but need not be opaque above that point.

Outdoor storage shall be meant to include all company owned and operated motor vehicles, with the exception of passenger vehicles.

No outdoor storage shall be permitted between a frontage street and the building line unless set back a minimum of fifty (50) feet from the street

right-of-way line, or seventy-five (75) feet from the street centerline, whichever is greater.

4.04.11 Refuse Collection Areas

All outdoor refuse collection areas shall be visually screened from access streets, freeways and adjacent property. Said screening shall form a completely opaque visual barrier such that refuse collection receptacles cannot be seen from access streets, freeways and adjacent property. See Section 4.03.11 herein.

No refuse collection area shall be permitted between a frontage street and the building setback line.

4.04.12 Sign Restrictions

Only one (1) single or double faced individual or collective (multiple tenant) identification sign shall be permitted per major street entrance with a maximum of two (2) per site. A maximum of one sign is permitted per legal lot.

No sign shall exceed one hundred (100) square feet in area per face.

No sign shall be constructed so as to rotate, gyrate, blink, flash or move in any animated fashion.

Pole Sign:

Pole signs are not permitted in office areas.

Building Attached Sign:

In no event shall an identification sign placed on a wall or attached to the building comprise more than ten (10) percent of the area of the elevation upon which the sign is located and shall not exceed 20% of the total area of the front surface of the building. Said signs shall be fabricated and attached. Signs painted directly on the surface of the wall shall not be permitted unless designed as an integral part of the building architecture.

Ground Sign:

An identification ground sign shall not exceed ten (10) feet above grade in vertical height. The signs' area shall not exceed 150 square feet (see

page 51). Also, ground signs in excess of four (64) square feet in area (single face) shall not be erected in the first twenty-five (25) feet, as measured from the property line or street right-of-way.

Multi-Tenant Directory Sign:

One (1) directory sign listing only the name of the firms or business on a site shall be allowed per major entrance, with a maximum of two (2) permitted per site. One (1) sign is permitted per legal lot. Said sign shall be limited to a maximum height of ten (10) feet. Style, color and materials shall be consistent within the sign.

Temporary Signs:

All signs which are temporary in nature such as construction signs, future tenant identification and temporary directional signs shall conform to the following standards:

Free standing temporary signs are permitted and shall complement adjacent permanent signage. Construction shall be wood with monotone background paint similar or complementary in color, design and typestyle to permanent signage. Sign shall not exceed (8) feet in height and total sign area shall not exceed forty-eight (48) square feet.

Community Directional and/or Identification Sign:

Directional signs shall not exceed twenty-five (25) square feet of sign per face and sign height shall not exceed six (6) feet.

4.05 Service Station and Drive-Through
Commercial Development Standards

4.05.01 Site Planning Guidelines

A minimum site area of thirty thousand (30,000) square feet is required.

4.05.02 Building Setbacks

All setbacks shall be measured from the property line and/or ultimate right-of-way line of the frontage street(s).

Front Yard Setback

Neenah Avenue and Cassandra Drive:

Thirty (30) feet, except that unsupported roofs, sunscreens and canopy roofs may project six (6) feet into the setback area.

Other Streets:

Thirty (30) feet, except that unsupported roofs, sunscreens and canopy roofs may project to within fifteen (15) feet of the property line or right-of-way.

Interior Setbacks

Twenty (20) feet from the side and rear lot lines unless the building is an integral part of a commercial complex, in which case said setback may be five (5) feet. Unsupported roofs, sunscreens and canopy roofs may project ten (10) feet into the setback area.

4.05.03 Parking Requirements

A minimum of eight (8) parking spaces shall be provided in site for service stations. A minimum of ten (10) parking spaces plus one (1) for each one hundred (100) square feet of gross floor area shall be provided for drive-through commercial developments.

4.05.04 Landscape Requirements

Detailed landscaping and irrigation plans, prepared by a landscape architect, licensed landscaping contractor or architect shall be submitted and approved prior to issuing of building permits and landscape improvements installed prior to issue of Certificate of Use and Occupancy.

All landscaping referred to in this section shall be maintained in a neat and orderly fashion.

Front Yard Landscape Setback Area

General:

Landscaping in these areas shall consist of an effective combination of street trees, trees, turf, ground cover, shrubbery and graded berms of

between one and two feet above grade situated to provide partial visual screening of parking areas. The entire area between the curb and the building setback line or paved parking area shall be landscaped, except for any driveway or paved area in said area.

Side Yard and Rear Yard

General:

All unpaved areas not utilized for parking, access or storage, shall be landscaped utilizing ground cover, turf and/or shrubs and tree materials unless completely screened from view from adjacent public right-of-ways, access roadways or neighboring parcels.

Undeveloped Areas

Undeveloped areas proposed for future expansion shall be maintained in a weed and litter free condition, but need not be landscaped.

Screening

Areas used for parking shall be partially screened from view or interrupted by landscaping and/or fencing as seen from access streets, freeways, and adjacent arterials. Plant materials used for screening purposes shall consist of lineal or grouped masses of shrubs and/or trees. Berms and walls should be used for decorative screening as well. It is not intended that complete visual screening of buildings or parking be achieved.

Boundary Areas

Boundary landscaping is required along interior property lines and should be of sufficient dimensions to accommodate the number of required trees. Trees, greater than or equal in number to one (1) tree per twenty-five (25) lineal feet of each property line shall be located in the above defined areas in addition to required ground cover and shrub material.

All landscaped areas shall be separated from adjacent vehicular parcel areas by a curb or wall, at least six (6) inches higher than the adjacent vehicular paved area.

Parking Areas

Trees, greater than or equal in number to one (1) per each eight (8) parking stalls shall be provided in parking areas and shall be distributed so as to form a visually pleasing pattern.

4.05.05 Storage Areas

All outdoor storage shall be completely visually screened from adjacent streets, freeways or adjacent property.

4.05.06 Refuse Collection Areas

All outdoor refuse collection areas shall be visually screened through the use of walls, fences or landscaping, as seen from public streets.

4.05.07 Sign Restrictions

Sign Standards

All signs, symbols, etc., shall not revolve, rotate or simulate animation in any manner.

Lighting of signs may be integral or by direct illumination, confined to the sign. Flashing lights are prohibited.

All advertising devices and displays, including tires, oil, accessories, posters, etc., shall be located within the main building or set back a minimum of twenty-five (25) feet from the right-of-way.

One (1) free standing or pole sign, limited to a maximum height of twenty (20) feet shall be permitted. Sign face shall not exceed a maximum area of one hundred (100) square feet per face, double faced.

Identifying signs or symbols, mounted on the building are permitted. Maximum area of the sign or symbol shall be five (5) percent of the front building surface. Maximum height of the sign shall be thirty (30) feet.

Sale or Lease Sign

A sign advertising the sale, lease, or hire of the site shall be permitted in addition to the other signs listed in this section. Said sign shall not exceed a maximum area of forty-eight (48) square feet and shall be a maximum of eight (8) feet in height.

Ground Sign

All ground signs shall not exceed twelve (12) feet above grade in vertical height. Also, ground signs in excess of sixty-four (64) square feet in area (single face) shall not be erected in the first twenty-five (25) feet, as , measured from the right-of-way line, of any street setback area. However, the above standards shall not apply to Community Directional Signs and Special Purpose Signs.

Special Purpose Sign

Signs used to give directions to traffic or pedestrians or give instructions as to special conditions shall not exceed a total of ten (10) square feet (single face) in area and shall be permitted in addition to the other signs listed in this section. These signs shall contain no advertising message.

Construction Sign

One (1) construction sign denoting the architects, engineers, contractor, and other related development participants, shall be permitted upon the commencement of construction. Said sign shall be a maximum of eight (8) feet in height and forty-eight (48) square feet in area and will be permitted until such time as a final inspection of the building(s) designates said structure(s) fit for occupancy, or the tenant is occupying said building(s), whichever occurs first.

4.06 Industrial Park (with PDA Overlay Conditions)

4.06.01 Site Planning Guidelines

The minimum contiguous site area is 5 acres.

4.06.02 Permitted Uses

The intent of this use area is to provide a area for limited commercial services, research and development, administrative facilities and manufacturing uses that can meet high development and performance standards.

Commercial Uses:

Administrative and Business Office
Art and Craft Studio (Limited)
Art and Craft Studio (General)
Art and Craft Studio (Industrial)
Building Maintenance Services
Business or Trade School
Business Support Services
Communications Services
Construction Sales and Services
Financial Services
Indoor Entertainment
Indoor Sports and Recreation
Off-Site Accessory Parking
Outdoor Sports and Recreation
Personal Services
Professional Offices
Research Services
Service Station
Theater

Industrial Uses:

Custom Manufacturing
Light Manufacturing

Civic Uses:

College or University Facilities
Communication Service Facilities
Congregate Living
Community Recreation (Private)
Community Recreation (Public)
Counseling Services
Cultural Services
Day Care Services (Commercial)
Day Care Services (General)

Day Care Services (Limited)
Employee Recreation (Non-Profit)
Group Home, Class I (Limited)
Group Home, Class I (General)
Group Homes, Class II
Local Utility Services
Maintenance and Services Facilities
Off-Site Accessory Parking
Religious Assembly
Residential Treatment
Safety Services

Agricultural sales, automotive rentals, automotive repair services, automotive sales, construction sales and services, convenience storage, exterminating services, medical offices, railroad facilities, food sales and general warehousing and distribution would be inappropriate uses in this district. All uses shall be subject to the requirements of the IP district of the Austin city codes.

4.06.03 Building Setbacks

All setbacks shall be measured from the property line and/or ultimate right-of-way line of the frontage street(s).

Front Yard Setback

Minimum required setback, 100 feet.

Street Side Yard Setback

Minimum required setback, 100 feet on any portion of a site within 100 feet of property classified as LA, RR, SF-1, SF-2, SF-3, SF-4A, SF-4B, or SF-5 of SF-6; reduced to 50 feet when abutting any property classified or used as LA, RR, SF-1, SF-2, SF-3, SF-4A, SF-4B, SF-5, or SF-6.

Interior Side Yard Setback

Minimum required setback, 100 feet on any portion of a site within 100 feet of property classified as LA, RR, SF-1, SF-2, SF-3, SF-4A, SF-4B, or SF-5 of SF-6; reduced to 50 feet when abutting any property classified or used as LA, RR, SF-1, SF-2, SF-3, SF-4A, SF-4B, SF-5, or SF-6; reduced to 25 feet, when abutting any property classified or used as NO or less restrictive base district.

Rear Yard Setback

Minimum required setback, 100 feet on any portion of a site within 100 feet of property classified as LA, RR, SF-1, SF-2, SF-3, SF-4A, SF-4B, or SF-5 of SF-6; reduced to 50 feet when abutting any property classified or used as LA, RR, SF-1, SF-2, SF-3, SF-4A, SF-4B, SF-5, or SF-6; reduced to 25 feet, when abutting any property classified or used as NO or less restrictive base district.

4.06.04 Height Restrictions

Structures shall be limited to a maximum height of three (3) stories or forty-five (45) feet.

4.06.05 Maximum Site Coverage

Maximum building coverage of forty (40) percent is allowed. Maximum impervious coverage shall not exceed 65 percent on slopes of 0-15% slope gradient. No impervious cover is allowed on slopes of greater than 15% gradient.

4.06.06 Parking Requirements

Adequate off-street parking shall be provided to accommodate all parking needs for the site. The intent is to eliminate the need for any on-street parking.

Required off-street parking shall be provided on the site of the use served, or on a contiguous site or within three hundred (300) feet of the subject site. Where parking is provided on other than the site concerned, a recorded document shall be approved, filed and signed by the owners of the alternate site stipulating to the permanent reservation of use of the site for said parking. In no event shall overnight on street parking be permitted.

The following guide shall be used to determine parking requirements:

Office

Four (4) spaces for each one thousand (1000) square feet of total gross office space.

Research Testing and Research Assembly

Two (2) parking spaces for each three (3) employees, but in no event less than three (3) spaces for each one thousand (1000) square feet of gross floor area.

Warehouse

Two (2) parking spaces for each three (3) employees, but in no event less than one (1) space for each one thousand (1000) square feet of gross floor area for the first twenty thousand (20,000) square feet; one (1) space for each two thousand (2000) square feet of gross floor area for the second twenty thousand (20,000) square feet; one (1) space for each four thousand (4000) square feet of gross floor area for areas in excess of the initial forty thousand (40,000) square feet of floor area of the building.

If there is more than one shift, the number of employees on the largest shift shall be used in determining parking requirements.

4.06.07 Landscaping Requirements

Detailed landscaping and irrigation plans, prepared by a landscape architect, licensed landscaping contractor or architect shall be submitted and approved prior to issuing of building permit and installed prior to issue of certificate of Use and Occupancy.

All landscaping referred to in this section shall be maintained in a neat and orderly fashion.

Front Yard Setback Area

General:

Landscaping in these areas shall consist of an effective combination of street trees, trees, ground cover and shrubbery. All unpaved areas not utilized for parking shall be landscaped in a similar manner.

Neenah Avenue and Spectrum Drive Frontages:

The entire area between the curb and the building setback line shall be landscaped, except for any access driveway, parking or paved areas.

Side and Rear Yard Setback Area

General:

All unpaved areas not utilized for parking and storage, shall be landscaped utilizing ground cover and/or shrub and tree materials.

Undeveloped Areas:

Undeveloped areas proposed for future expansion shall be maintained in a weed and trash free condition but need not be landscaped.

Screening

Areas used for parking and loading shall be landscaped and/or fenced in such a manner as to interrupt or screen said areas from view from access streets, and adjacent properties by a combination of berms and plant materials. Plant materials used for this purpose shall consist of lineal or grouped masses of shrubs and/or trees. Berms should be designed with between 3:1 and 6:1 vertical slopes and be approximately 2 to 5 feet in height above grade. See Sections 2.04.04 and 2.04.06 herein.

Parking Areas

Trees shall be provided in parking areas per City of Austin landscape ordinance requirements.

4.06.08 Walls, Fences and Barriers

Walls, fences and barriers within the Research and Development site areas shall be limited to ten (10) feet in height maximum. Walls, fences or barriers shall be used for screening of loading, outdoor storage areas and refuse collection as well as for creating privacy and security. Where walls are located near street intersections, their height and location shall be such as to permit adequate sight distances for vehicular traffic and pedestrians. Where walls, fences or barriers exceed 200 feet on a continuous run, that length shall be relieved by projections, offsets or staggering of planes, insets with landscaping, changes in surface or material or similar techniques.

4.06.09 Loading Areas

Street side loading shall be allowed provided the loading dock is set back a minimum of seventy (70) feet from the street right-of-way line or one hundred ten (110) feet from the street centerline, whichever is greater. Said loading area must be screened from view from adjacent streets.

4.06.10 Storage Areas

All outdoor storage shall be visually screened from access streets, and adjacent property. Said screening shall form a complete opaque screen up to a point eight (8) feet in vertical height but need not be opaque above that point.

Outdoor storage shall be meant to include all company owned and operated motor vehicles, with the exception of passenger vehicles.

No outdoor storage shall be permitted between a frontage street and the building line unless set back a minimum of fifty (50) feet.

4.06.11 Refuse Collection Areas

All outdoor refuse collection areas shall be visually screened from access streets, and adjacent property by a complete opaque screen.

No refuse collection areas shall be permitted between a frontage street and the building line unless all refuse containers are completely screened from the frontage street.

4.06.12 Sign Restrictions

Signs visible from the exterior of any building may be lighted, but no signs or any other contrivance shall be devised or constructed so as to rotate, flash, gyrate, blink or move in any animated fashion.

Signs shall be restricted to advertising only the person, firm, company or corporation operating the use conducted on the site, the product produced or sold thereon or the nature of the business being conducted.

Sign Quantity

One (1) single faced or double faced sign shall be permitted per major entry. No sign shall exceed one hundred fifty (150) square feet in area per face. No pole signs are allowed.

Sale of Lease Sign

A sign advertising the sale, lease, or hire of the site shall be permitted in addition to the other signs listed in this section. Said sign shall not exceed a maximum area of forty-eight (48) square feet and shall be set back a minimum of twenty-five (25) feet from a public right-of-way.

Ground Sign

All ground signs shall not exceed eight (8) feet above grade in vertical height and shall be located twenty-five (25) feet or greater from street right of ways unless less than sixty-four (64) square feet in area per face. However, the above standards shall not apply to the Community Directional Sign and Special Purpose Sign.

Special Purpose Sign

Signs used to give directions to traffic or pedestrians or give instructions as to special conditions shall not exceed a total of ten (10) square feet (single face) in area and shall be permitted in addition to the other signs listed in this section. These signs shall contain no advertising message.

Building Attached Signs

Building attached signs shall not comprise more than ten (10) percent of the area of the elevation upon which the sign is located. Signs shall not exceed 20% of the total front building surface. Said signs shall be fabricated and attached; signs painted directly on the surface of the wall shall not be permitted unless designed as an integral part of the building architecture.

In the instance of a multiple tenancy building, each individual business may have a wall sign over or adjacent to the entrance to identify the business. Said sign shall be limited to twelve (12) inch high letters. Said sign must be oriented toward the parking area for that building.

Construction Sign

One (1) construction sign denoting the architects, engineers, contractor, and other related subjects, shall be permitted upon the commencement of construction. Said sign shall be a maximum of eight (8) feet in height and forty-eight (48) square feet in area and shall conform with the requirements of sale or lease signs, and will be permitted until such time as a final inspection of the building(s) designates said structure(s) fit for occupancy, or the tenant is occupying said building.

Future Tenant Identification Sign

A sign listing the name of future tenants, responsible agent or Realtor, and identification of the complex shall be permitted. Said sign shall be a maximum of eight (8) feet in height and forty-eight (48) square feet in area and shall conform with the requirements of sale or lease signs and will be permitted until such time as the tenant is occupying said building(s).

4.07 Multi-Family

4.07.01 Site Planning Guidelines

The minimum site area is four (4) acres.

4.07.02 Permitted Uses

The Multi-Family areas allow primarily attached, condominium and apartment residential uses as well as supportive uses:

Single Family attached residences
Townhome Residential units
Private recreational facilities
Churches, temples and other places of worship
Educational institutions
Libraries

4.07.03 Minimum Building Setbacks

All building setbacks shall be per the City of Austin zoning standards for the appropriate multi-family zone. Building setbacks from Spectrum Drive and Neenah Avenue are encouraged to vary above the minimum setback permitted by the City of Austin zoning standards. Additionally, buildings are encouraged to be sited such that there is not a uniform distance from the building face to the adjacent major roadways.

4.07.04 Height Restrictions

Maximum building height shall be per City of Austin standards for the appropriate multi-family zone. Additionally, buildings are encouraged to be sited such that buildings with non-uniform roof heights are placed adjacent to bordering public streets so that a lower profile roof or mixed roof height is presented on the public street side.

4.07.05 Exterior Building Materials

All residential buildings shall have a minimum twenty (20) percent exterior brick, stone or similar masonry on all sides which are visible from perimeter public street side.

4.07.06 Parking Requirements

Parking shall be as specified in City of Austin parking standards.

4.07.07 Recreational Vehicle Storage

All boats, trailers, campers, RV's and other similar recreational vehicles may not be permitted to be stored or parked on the lot for greater than forty-eight (48) hours except in designated areas segregated from other parking, located away from public streets and entrances and partially or totally screened from view from public streets or adjacent properties.

4.07.08 Walls, Fences and Barriers

Walls, fences and barriers shall be limited to a maximum height of eight (8) feet above grade. Walls are encouraged to be of solid plaster, masonry or decorative block construction and located to create privacy, security, visual screening or access control. Where walls, fences or barriers are located near entries, driveways or street intersections, their height and location shall be such so as to permit adequate sight distances for vehicular traffic and pedestrians. Where walls or fences exceed one hundred (100) feet on a continuous run, that length shall be relieved by projections, offsets or staggering of planes, insets with landscaping, changes in surface or material or similar techniques to relieve monotony. Walls and fences adjacent to Community Fencing along Parmer Lane (FM 734), Neenah Avenue and Spectrum Drive should be of a type, material and color which is harmonious with Community Fencing design as well as compatible with building architecture.

4.07.09 Storage Areas

All outdoor storage areas shall be visually screened from access street, freeways and adjacent property by a visually opaque screen consisting of landscaping, walls, fences or other similar screening techniques.

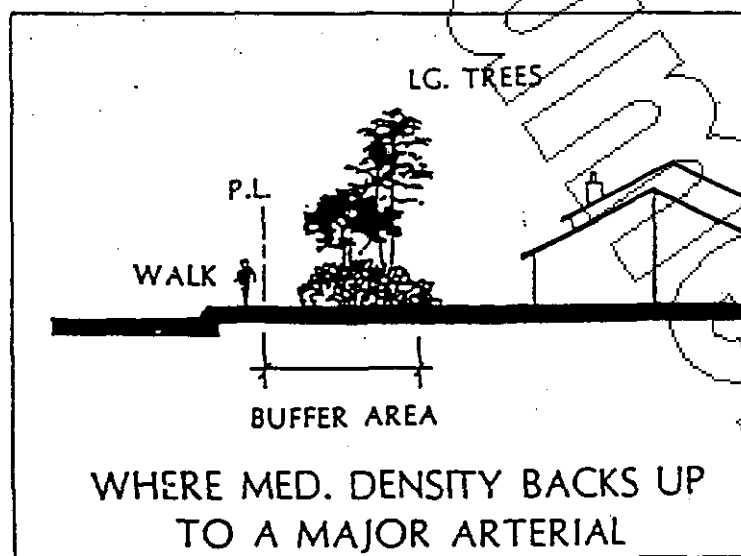
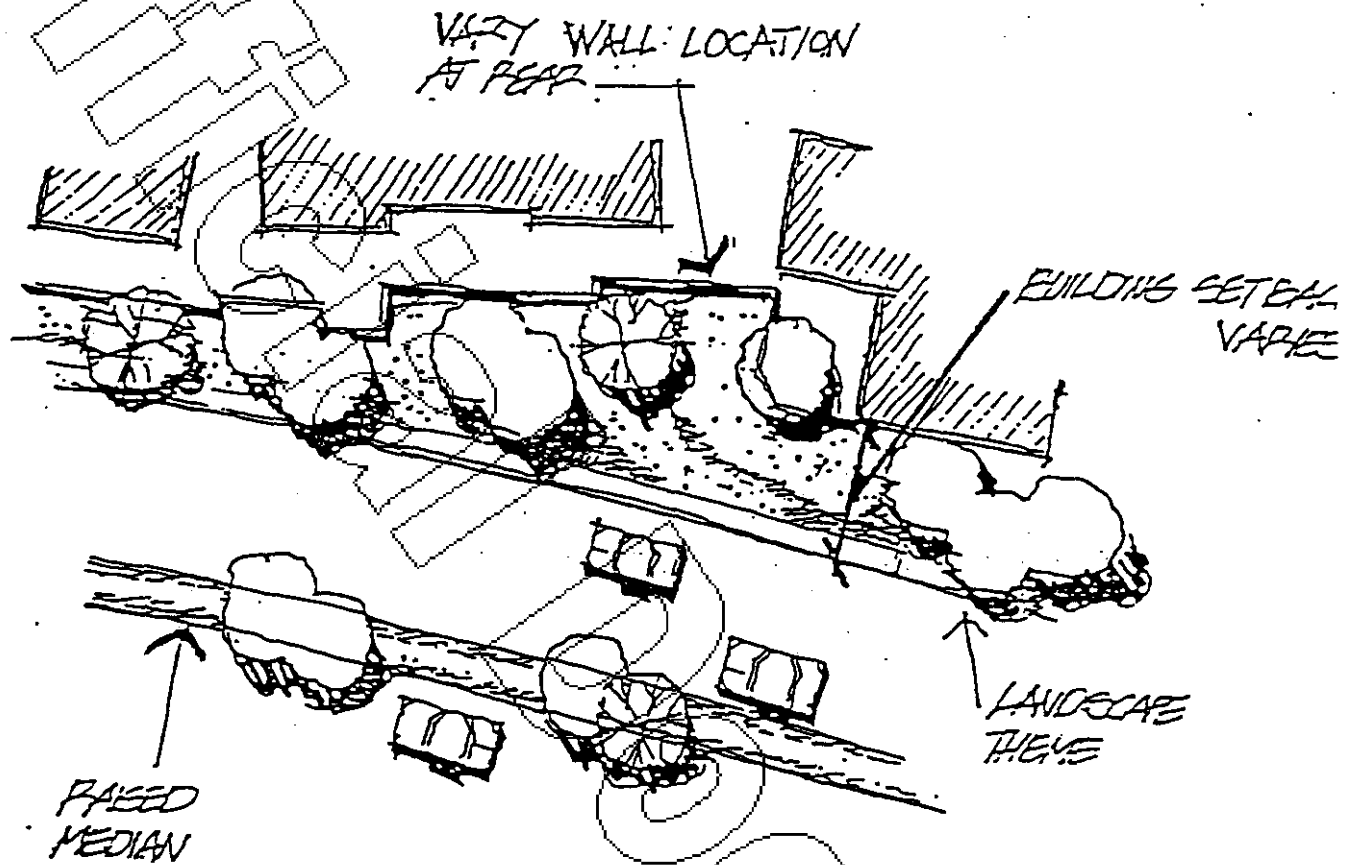
4.07.10 Refuse Collection Areas

All outdoor refuse areas shall be partially or completely screened from view from public streets and adjacent property.

4.07.11 Sign Restrictions

All residential area signs are to be of ground mounted type, integrated into the design of a wall or monument or attached to building surfaces. No

TYPICAL SITE PLANNING AND LANDSCAPE TREATMENT ALONG MAJOR ROADWAYS



4.07.13 Architectural Design Guidelines

Elevations:

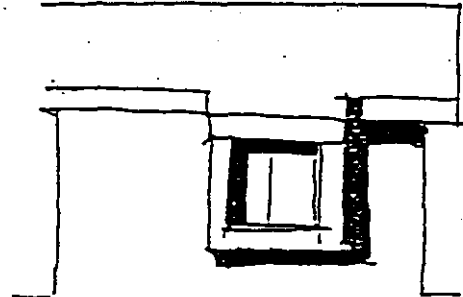
Special attention of design shall be paid to all building sides which face public streets and adjacent property. These elevations should be designed for enhanced visual attractiveness through the use of brick masonry, architectural detailing, shadow relief, recesses, careful placement of windows and door openings, and visually compatible roof materials, color and textures.

Openings

Generally, openings are determined by the plan layout, view opportunities, furniture placement and privacy constraints. However, it is desirable to design openings to develop a strong architectural character, particularly on primary elevations.

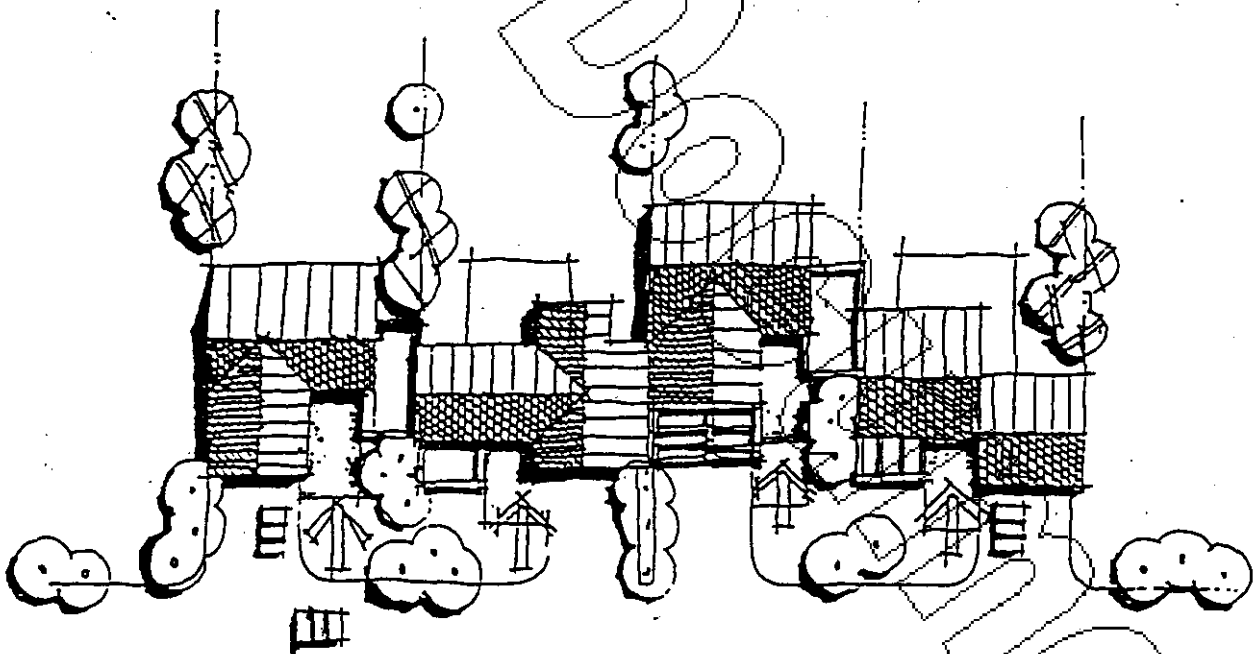


GABLE OVERHANG



SHED

In attached housing it is important to provide each unit with its own identity and entry. This can be accomplished by staggering and offsetting each separate unit and combining one and two story building forms to separate massing. This will also provide variety to the streetscape.



Material and Color

Wall and roof materials and colors of individual buildings should be compatible with neighboring buildings and fences. It is desirable to create continuity through the use of the following elements:

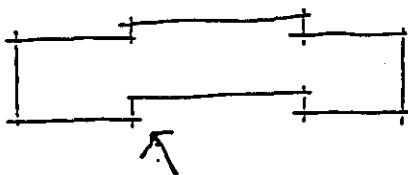
- A. Natural materials such as wood or stone;
- B. Large areas of color (avoid use of black, pure white or primary colors);
- C. Mixed or uniform brick masonry;
- D. Small surfaces and trim that may be accented with a contrasting compatible adjacent color or trim;
- E. Roof materials which are consistent within the same structure and adjacent buildings;
- F. Other than for lots greater than 10,000 square feet in area, no metal roofs are permitted.

4.07.14 Site Plan Design

Multi-family tracts should be designed to a high level to attractive design utilizing innovative site planning and architectural techniques.

SITE PLANNING CRITERIA

Building plans should incorporate simple jogs so that long roof planes and long wall elevations can be avoided.



OR



4.08 Open Space Development Standards

Within the non-single family areas of Davis Spring are a number of areas which are major open spaces or which will contain large contiguous areas of open space. These areas are intended to be left in their natural state to a large extent, with alterations primarily for the following purposes:

1. To provide access from public or private areas;
2. For drainage, runoff detention or filtration;
3. To provide bicycle and hiking trail linkages between schools, parks, shopping, employment and residential areas;
4. For control of weeds, fire hazards and promotion of public health, welfare and safety.

Where practical, these areas should not be enclosed by walls in order to maintain the open appearance of Davis Spring. Exemptions to this include developments which must be enclosed for security or public safety reasons.

All open space areas shall be developed or left in a natural condition as regulated by the applicable City of Austin Zoning and Subdivision regulations. Where terrain and vegetation permits, long-range scenic vista areas with public access can be created which provide the community with opportunities to enjoy the scenic qualities of the area.

4.09 Architectural Design Guidelines

The following standards deal with architecture for non-residential development. The intent is to permit a wide range of architectural styles and techniques which result in better coordination of site planning, architecture and landscape architecture.

4.09.01 Elevations

Because all building sides which face public streets have the greatest visual impact on the community, these sides of buildings should be constructed with the greatest degree of visual attractiveness. Techniques for elevating these sides of buildings include but are not limited to using recesses and projections for shadow relief, cast or cut caps, molding, arches, buttresses, accent walls, columns, canopies and arcades.

Entries in particular should be designed to be prominent design features.

4.09.02 Building Materials and Colors

Building exterior materials can be of a wide range. Precast concrete panels, glass, metal, cut stone, wood, plaster, brick and other materials can be effectively used in buildings provided the design techniques and materials are balanced into a coordinated, harmonious result. This can be achieved by use of the following:

1. Materials should be consistent with the overall architectural style of the building;
2. Large flat uninterrupted surfaces should be avoided. Textured, treated, relieved or accented surfaces should be employed when large panels are used in order to avoid flat, monotonous planes;
3. The number of visually dissimilar exterior materials should be controlled such that the appearance is neither monotonous nor a "hodge-podge" of visually conflicting elements;
4. The quantity of exterior glass should be limited such that a "glass box" appearance is avoided;

5. Materials should be selected with consideration for their long-term appearance and maintenance requirements;

6. Colors should be chosen for a harmonious appearance with respect to adjacent structures, vegetation, appropriateness of use, and location in a hill country setting. Bright or intense primary colors such as bright red or yellow, and intense secondary colors such as orange or purple should be avoided for use as the principle building exterior color. Pure white and pure black should also be avoided as the principle exterior color;

Accent colors can provide contrast or harmony with the principle building color and may include those colors above which are not recommended for principle building exterior colors.

4.10 Landscape Architecture

Purposes

The design objective of non-residential landscaping is to:

- a. Create and enhance, visually pleasing street scene throughout Davis Spring.
- b. Utilize landscaping to establish project comparability between adjacent dissimilar uses.
- c. Use landscaping and berms to screen parking areas, storage areas and loading areas.
- d. Encourage landscape designs which promote energy conservation through passive solar/heat management and reduced water consumption while maintaining a high level of aesthetic quality.
- e. Provide a transition between developed and undeveloped, natural areas.

4.10.01 Landscape Concept

Intense landscaping color and earthen forms should be used in strategic locations to define entrances and serve functional goals to buffering and screening. Components of the overall landscape concept are as follows:

a. Flood Plains

Within the project boundaries are a number of natural drainage valleys which are visually significant. Where feasible, these landscapes should be maintained in natural grasses, existing trees and shrubs. Slopes and vegetation that are disturbed within the drainage courses should be re-established to blend with the surrounding landscaping. Planting design should transition from a "formal" or manicured appearance to a natural, undisturbed landscape.

b. Entrance Zones

To establish identity for individual developments within Davis Spring, entrance landscape treatments and signing regulations have been established for each type of use. Individual lots are encouraged to refrain from fencing the entire property or lot area so that an "open" appearance occurs, especially in areas near the major access roads.

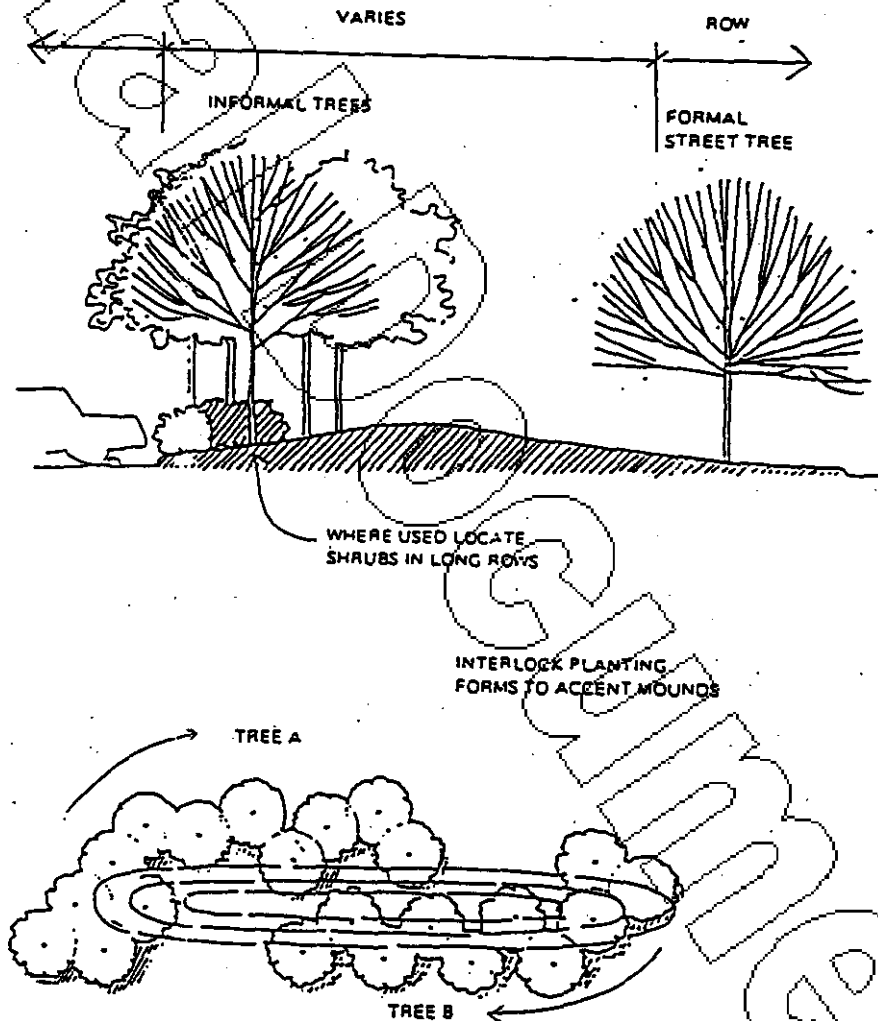
In combination with signing and lighting, landscaped entry statements will be made at the major project access points. Specimen size canopy trees will provide drama and identity at these entries, with accent trees as a backdrop. This will initiate the experience of entering an enriched environment. Each entry should incorporate an element of colorful accent planting. Rock outcrops and paving or rock in varying sizes may be combined with planted groundcover.

c. Streetscapes

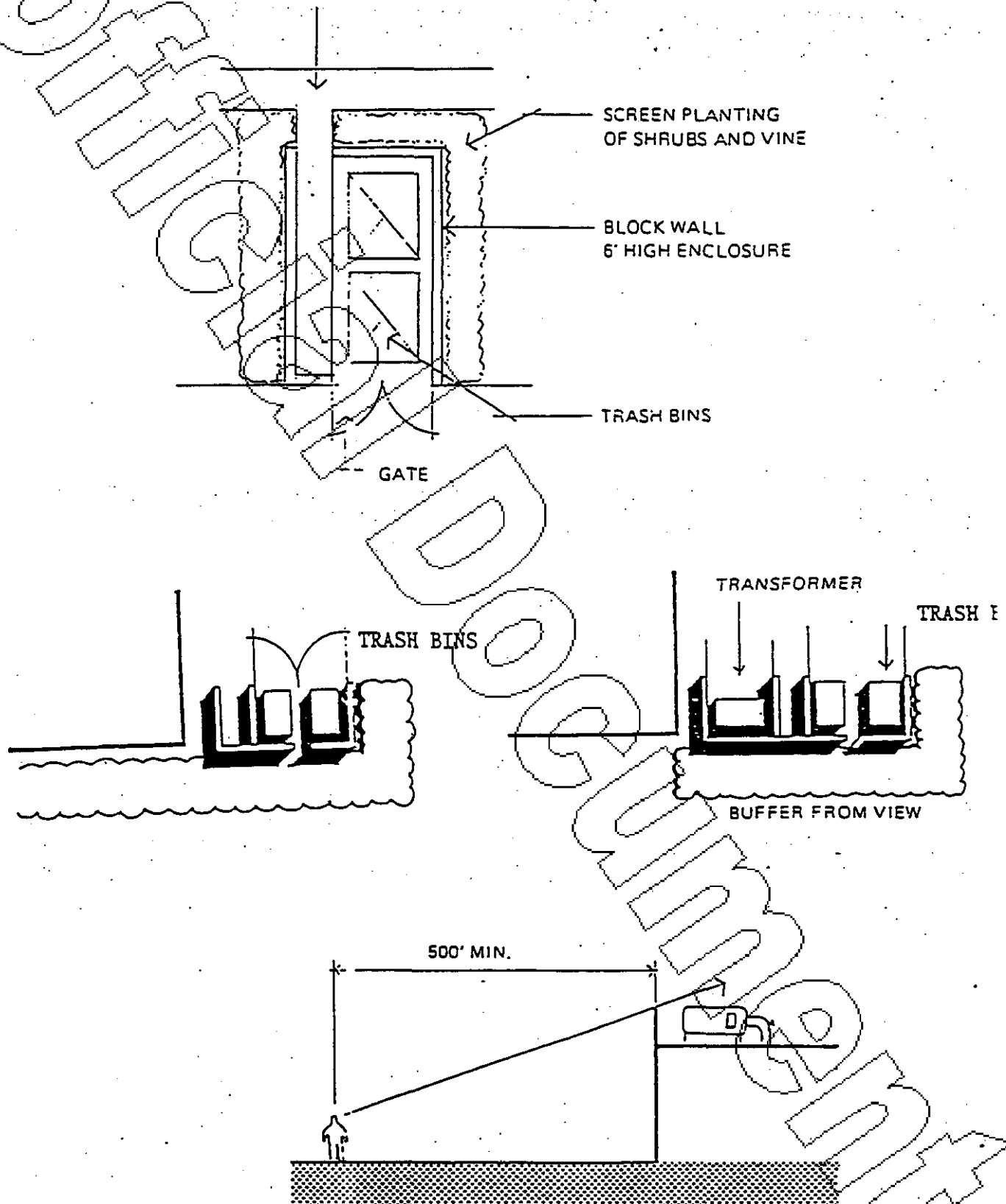
Roadways should be depressed in elevation where feasible and parkway berming, varying from 3:1 through 6:1 in slope, should be used along streets. Designs should consider directing drainage and irrigation runoff water away from pedestrian areas. Landscape continuity shall be established along the main streets through the use of dominant, broad-headed theme trees. Subordinate tree species will provide backdrop and relief. Ground level plantings will provide continuity in terms of color and texture, with flowing shrub masses interspersed as accents and screening. Along the major access routes that connect to interior streets and drives, a sense of arrival shall be gained through the use of plant materials which possess strong form or color qualities. These are to be generally designed in a formal configuration, focused on the intersection, featuring such elements as specimen sized trees, signage, monumentation and colorful accents.

4.10.02 Screening/Buffers

Evergreen plant material, masonry walls and low berms shall be used in various combinations to visually screen parking areas, storage areas, loading areas, trash facilities, outdoor satellite dish antennas and utility fixtures. Species with dense foliage are required to be effective as a hedge. Walls shall have finishes that match or complement adjacent architecture and shall not exceed eight feet in height. Where greater height is required, combining berming with walls or plant material is desirable.

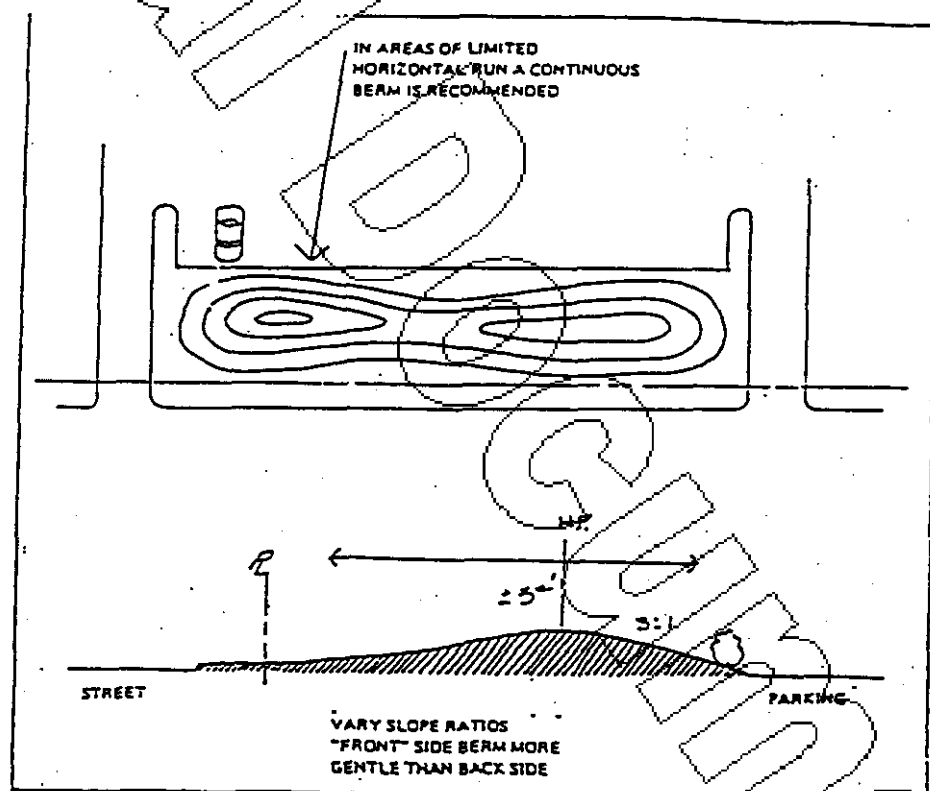


- TYPICAL PLAN OF ENCLOSURE:
SCREEN IS PROVIDED WITH
SOLID STRUCTURE AND PLANT
MATERIAL



Parking Areas

Non-residential development requires a large proportion of the site for parking. The primary purpose of landscaping in parking areas is to provide visual relief and enhancement. A second benefit is to provide shading to minimize solar heat absorption by the paving and the resultant re-radiation. To achieve this, canopy form tree species should be planted throughout parking areas to provide visual enhancement and significant shading. The tree planter areas between rows of cars should employ colorful, low growing shrubs as accents. Species should be selected with consideration to low irrigation and maintenance requirements. The periphery of parking areas shall be partially screened from view using a combination of berming and planting, especially in multifamily, office and non-retail commercial areas.



RECORDERS MEMORANDUM

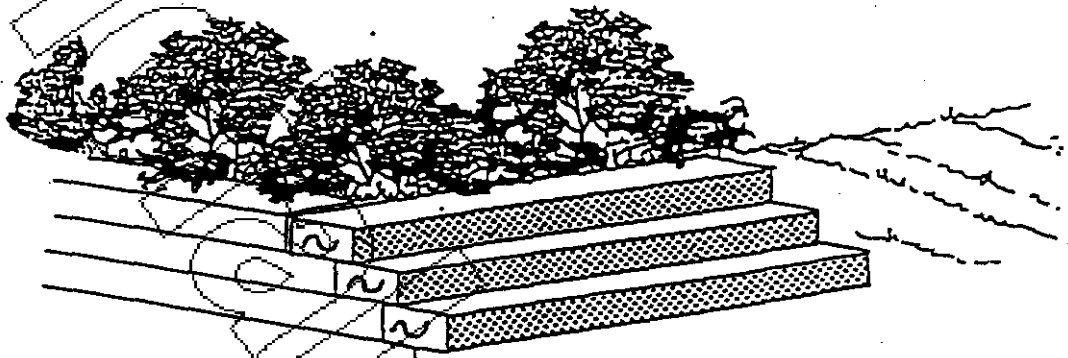
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Parking Structures

Site developments which utilize parking structures should use a combination of trees, shrubs, existing trees and berms with turf or groundcovers to soften the appearance of parking structures as seen from adjacent roads and properties. Planting design should not interfere with accessibility and visibility of parking structure entrances in order to promote vehicular safety and ease of use for visitors and tenants; however, placement of trees, berms and shrubs should break up long walls or sides of the structure in such a way as to be compatible with the building use, access and architectural style.

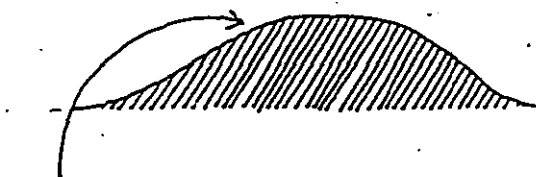
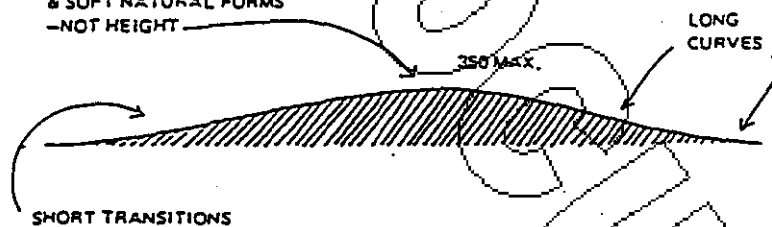
4.10.04 Grading

Grading of landscaped areas should be designed to emulate natural land forms and avoid hard edged, man-made appearances. Slopes should be between 3:1 and 6:1 and should smoothly transition between areas of different slope.



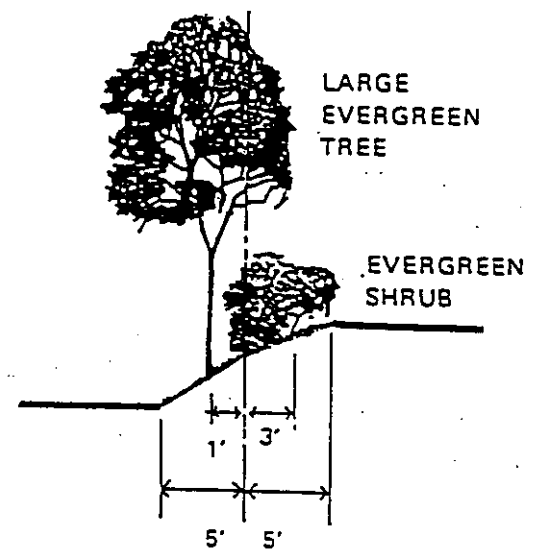
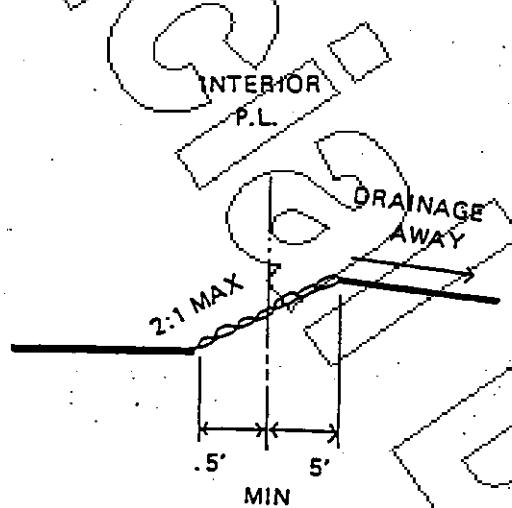
NO RAILROAD TIE CONSTRUCTION

EMPHASIS WILL BE PLACED
ON SMOOTH TRANSITIONS
& SOFT NATURAL FORMS
—NOT HEIGHT



MOUNDING IS NOT TO
BE "LUMPY" OR ABRUPT

All manufactured slope areas over 24" high shall be permanently landscaped with an erosion control, drought tolerant plant material. Slopes over 3:1 slope shall have erosion control blankets, retaining walls, dry stack stone or masonry or other permanent suitable erosion control device. Shrub massing and tree clusters shall be used to break the visual impact of the major slopes and to soften the building masses.



4.10.05 Landscape Maintenance

All privately owned lot areas which are landscaped shall be maintained, pruned, mowed or otherwise appropriately cared for by the owner such that a long-term healthy and aesthetically pleasing plant design is maintained. Where landscape irrigation systems are required or appropriate for the vegetation, these irrigation systems shall be designed so as to provide a minimal amount of maintenance to keep them properly functioning.

Irrigation Systems

All landscaping which requires irrigation to maintain a healthy, aesthetically pleasing appearance and is appropriate for irrigation shall be sprinkled, drip or flood irrigated on an automatic or regulated basis. Irrigation systems shall be designed to provide a controlled distribution of water which is tailored to the specific plant material's water usage. Further, irrigation systems shall be designed such that excess runoff from overspray, oversaturation of the ground or frequent wind deflection of spray be minimized, especially onto public streets.

4.10.06 Tree Protection

To the maximum extent practical, mature trees greater than 6" in trunk diameter at a point 3' above grade should be preserved and incorporated into site and landscape design. For this reason, the following tree protection technique shall be employed where City of Austin or standards contained in these Development Design Guidelines require tree protection during construction activities. Until completion of construction activities in an area of the site are completed, a fence shall be erected outside the dripline of trees to be protected as indicated and all construction equipment shall be precluded from entering the fenced area.

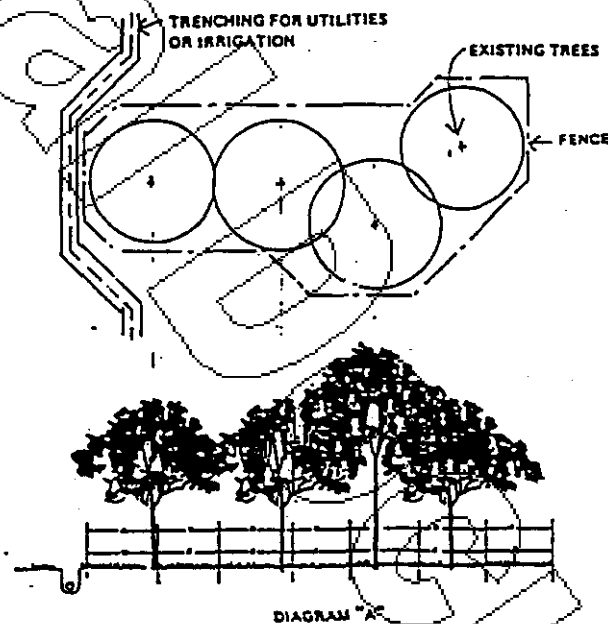


DIAGRAM "A"

SUGGESTED TREE PROTECTION

FENCING SHALL BE OUTSIDE OF DRIPLINE ON TREES TO BE PROTECTED PRIOR TO ANY SITE WORK AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.

SECTION FIVE - PLAN ADMINISTRATION AND IMPLEMENTATION

5.01 Design Review and Approval Procedure

No building, structure or other improvement shall be constructed in Davis Spring until the preliminary design plans and subsequent construction drawings, specifications, site plans, architecture, and landscape plans have been approved by the Architectural Review Committee.

All prospective builder/tenants within Davis Spring shall submit the following information for review and action through the design review and approval procedure:

1. Land use/site plan (minimum scale 1" = 100')

The applicant shall submit a site plan indicating the following information:

- a. building location(s) and use(s)
- b. setbacks
- c. parking areas
- d. landscape areas
- e. points of ingress and egress
- f. pedestrian walks
- g. fences and walls proposed to be located along public streets.
- h. areas of street improvements
- i. a statistical summary of building area, parking spaces provided, and of percentage lot usage.

2. Architectural Plans including the following as applicable (minimum scale 1/8" = 1' - 0"):

- a. building elevations showing materials and colors
- b. floor plans

3. Landscape Plan

The applicant shall submit a complete set of landscape drawings including:

- a. planting plan (minimum scale 1" = 40')

--location of plant materials, types and sizes.

--location of existing trees indicating whether they are to be removed or retained.

b. proposed grading and drainage plan.

c. irrigation plans drawn to scale showing equipment type and location.

d. proposed signing showing:

--graphic layout

--sizes

--location

--materials and color

--sign lighting

4. Any other information which may be required to assist the Architectural Review Committee in the design review process in fully understanding the design and development character of the proposed project.

5.02 Architectural Review Committee

An Architectural Review Committee shall be established to exercise the following responsibilities:

1. Interpretation of the Davis Spring Development Design Guidelines relating to site planning, architecture and landscape architecture;
2. Issuance of plan approvals and certificates of compliance with the Davis Spring Development Design Guidelines;
3. Inspection of improvements and enforcements of the Davis Spring Development Design Guidelines;

The Architectural Review Committee shall consist of at least three (3) members and not more than seven (7), and shall initially be staffed by at least three (3) representatives of the master developer, Davis Spring Properties, Ltd. Other members of the committee shall be owners or builders of lots or condominiums within the project area subject to these standards and guidelines. The master developer shall have the right to appoint members of the committee until such time as the master project developer desires to delegate that right to the members of the Board of Directors of the Master Association.

A committee quorum shall consist of at least three members and decisions shall be determined by a two-thirds majority vote. A more complete discussion of the Architectural Review Committee compositions and operations is contained within the Covenants, Conditions and Restrictions (CC&R's) appended to this document.

The Architectural Review Committee actions do not preclude the need to process plans through the City of Austin Plan Review process. The City of Austin Plan Review requirements shall prevail except where the decisions of the Architectural Review Committee are more restrictive. Where the actions of the responsible agency's Plan Review process are in conflict with the actions of the Architectural Review Committee, The Architectural Review Committee shall reassess its actions to arrive at a consistent design solution.

5.03 Site Plan Review

In order to assure long-term quality of development and compatibility with adjacent development, no structure shall be erected unless a site plan as provided for in this section has been reviewed and approved by the Architectural Review Committee. Site plans submitted under the provisions of this Section shall also comply with requirements set forth by the City of Austin and should include the following:

- a. The location of all proposed improvements on the site plan including driveways, walls, streets, structures, utilities, drainage improvements, and walkways.
- b. The site plan shall include a tree survey. A construction line shall be delineated on each site plan including all building, parking, and vehicular use areas, and all areas of required cut and fill. Proposed landscaping shall be shown. Outside this limit line, no tree survey shall be required and the project developer shall be required to leave undisturbed all areas of native vegetation including trees, shrubs, and understory vegetation to a reasonable and feasible extent.
- c. The site plan shall illustrate the location of all trash receptacles, air conditioning and heating equipment, loading areas, parking areas, lighting and an indication of the methods to be used to screen all such areas from public views.

- h. "Floor area ratio" (FAR) shall mean the total allowable building floor space divided by the total net site area as follows:

$$\text{FAR} = \frac{\text{Total Floor Area (Sq. ft.)}}{\text{Total Net Site Area (sq. ft.)}}$$

- i. "Floor Area" shall mean the gross floor area (GFA) of all built space measured from exterior wall to exterior wall. For the purpose of calculating FAR, the following guidelines are to be followed:

-Included is space in occupied penthouses, mezzanines, and interior balconies

-Included are elevator shafts, stairwells and all storage space above grade except as noted below,

-Excluded is space used for parking, mechanical areas, on-grade parking areas, rooftop mechanical areas such as elevator and stairwell bulkheads and exterior balconies.

-Excluded is space within plazas, arcades, courtyards, roofs and covered pedestrian space used to meet open space requirements.

- j. "Height, building" means the vertical dimension measured from the average elevation of the finished lot grade at the front of the building, to the highest point of ceiling of the top story in the case of a flat roof; to the deckline of a mansard roof; or to the average height between the plate and ridge of a gable, hip or gambrel roof.
- k. "Landscaped Area" shall mean and refer to all areas of land within the lots which are required pursuant to the Development Standards contained herein to be planted with grass, plantings, ground cover, trees, hedges and/or shrubs, and expressly excluding all streets, building sites, buildings, parking areas, driveways and pedestrian walkways.
- l. "Landscaped Median" shall mean the landscaped median within streets, located within the subject Property.
- m. "Landscaping" shall mean growing plants, including grass, plantings, vines, groundcover, trees, hedges and shrubs.
- n. "Lot" shall mean and refer to any parcel plot, or tract of land identified by field notes shown upon and recorded subdivision plat of the Property.

5.04 Architectural Review

1) Preliminary and Final Review

The review process for approval of building plans by the Architectural Review Committee has been created to evaluate improvement plans to ensure conformity with the application of the deed restrictions and occurs in two stages: preliminary and final.

2.) Preliminary Review Submittals.

Submit one set of drawings that includes the following:

- a) Existing Site Plan/Tree Survey
- b) Preliminary Site Improvement Plan including fencing or walls
- c) Preliminary Floor Plans
- d) Preliminary Exterior Building Elevations
- e) Preliminary Landscape Plan
- f) Preliminary Cross Section of Building Lot
- g) Proposed Signage and Sign Lighting

3.) Final Review Submittals.

Submit two sets of drawings that include the following

- a) Existing Site Plan/Tree Survey
- b) Site Improvements/Grading Plan
- c) Foundation Plans
- d) Floor Plans
- e) Exterior Building Elevations
- f) Landscape Plan
- g) Irrigation Plan
- h) Fencing Plan
- i) Proposed Signage and Sign Lighting

5.05 Inspections and Enforcement of Restrictions

Each owner and/or occupant shall have the duty and responsibility for conforming to the Davis Spring Development Design Guidelines as administered and interpreted by the Architectural Review Committee and as specified in the CC&R's appended to this document.

- 1. All applicable development and design standards of the City of Austin Municipal Codes as applicable shall apply, except where

expressly modified by the Davis Spring Development Design Guidelines.

2. If any regulation, condition, standard, guideline or portion of this document is held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and the invalidity of such provision shall not effect the validity of the remaining provisions hereof.
3. All construction within the boundaries of Davis Spring are subject to these standards and guidelines. Additionally, plans shall comply with all provisions of the City of Austin Uniform Building Code and the various mechanical, electrical and plumbing codes adopted by the City of Austin.

5.06 Amendment of Design Guidelines

Amendment of these Development Design Guidelines shall require the approval of two-thirds of the members of the Architectural Review Committee until such time that 80% of the area within Davis Spring has been sold by the master developer, Davis Spring Properties, Ltd. The Master Developer shall retain the right to veto amendments to the Design Guidelines until such time that they elect to relinquish this right by written instrument. After such time, the Architectural Review Committee can amend these design development standards at its discretion by two-thirds majority vote.

This shall not be construed as a means to constantly change these requirements, but only to formulate necessary revisions in response to changing conditions and needs.

5.07 Variance to Standards and Guidelines

Standards and guidelines may not seem justified in a particular case. Because of special conditions or unique circumstances. Where this is demonstrated to be the case, the Architectural Review Committee may approve a variance as applied only to that particular case and shall not be construed as an amendment to these standards and guidelines.

APPENDIX

A. GLOSSARY OF TERMS

Definitions:

The following words, when used in this document or in any supplement document shall have the following meaning:

- a. "Association" shall mean and refer to any present or future Davis Spring property owners association.
- b. "Accessory Use Structure" shall mean any building, guard house, shade structure, etc. incidental to and located on the same lot with the primary use or building.
- c. "Committee" shall mean and refer to the Architectural Review Committee as provided for in the Conditions, Covenants and Restrictions and as defined in this document.
- d. "Common Area" shall mean and refer to all real and personal property owned by a community or property owners association for the common use and enjoyment of the members of the Association and shall include lands burdened with an easement in favor of the Association, including any improvements located thereon, for the common use, enjoyment and benefit of the members of the Association.
- e. "Common Landscape Facilities" shall mean and refer to the landscaping sprinkler systems serving the Common Areas and the landscaped medians, water supply and related facilities located on a portion of the Common Areas, lighting facilities and street fixtures (if any) installed by Declarant or by or on behalf of the Association in the Common Areas but excluding driveway or parking area lighting and street fixtures installed or to be installed by others.
- f. "Declarant" shall mean and refer to Davis Spring Properties, Ltd., its successors and assigns.
- g. "Exterior" (building) shall mean any outside wall, outside surface, roof, outside door, balcony, patio, garage or other outside structure or area on a lot.

- o. "Open Space" means that part of a building site that is open and unobstructed to the sky and is accessible and usable for recreation, landscaping or general outdoor space. For the purpose of calculating open space, the following guidelines are to be followed:

Included are courtyards, yards, uncovered plazas and arcade space, parks, uncovered malls, and other similar walking or sitting areas, surface parking lots, covered pedestrian spaces such as unenclosed malls, plazas and arcades.

- p. "Owner" shall mean and refer to the record owner, whether one or more persons or entities, of a fee simple title to any Lot which is a part of the Property, but excluding those having such interest merely as security for the performance of an obligation.

- q. "Parking Ratio" shall be expressed as a ratio of total number of parking space divided by primary use gross floor area.

$$\text{Parking ratio} = \frac{\text{No. of parking spaces}}{\text{Gross Floor Area}}$$

- r. "Primary use structure" shall mean any building or enclosed structure within which the primary intended uses include assembly, manufacturing, testing, handling or storage of electronic, mechanical or management of same, and processing, storage, production of information, printed material or other information media related to processes, products or primary services performed in-site.

- s. "Yard, front" shall mean the open unoccupied space on the same lot with a main building, extending the full width of the lot and situated between the front property line and the front line of the building projected to the side of the lot.

- t. "Yard, rear" shall Mean the open unoccupied space on the same lot with the building between the rear line of the building and rear line of the lot and extending the full width of the lot and is the mean horizontal distance between the rear line of a building other than accessory building and the center line of the alley, where an alley exists, otherwise, the rear lot line.

- u. "Yard, side" shall mean the open, unoccupied space on the same lot with the building, situated between the building and the side line of the lot and extending from the front yard to the rear yard. Any lot line not a rear line or a front line is deemed a side lot line. Side yard setback is the mean horizontal distance between a side wall of a building and the side line of the lot or to the center line of any alley adjacent to such lot line.

B. DAVIS SPRING PROPERTY DESCRIPTION

Davis Spring, a 636.0 acre master planned community, is located in Austin's North Central Growth Corridor. The tract is a portion of the Rachel Saul Survey No. 551, City of Austin, Williamson County, Texas (See Attached)

TRACT 1
METES AND BOUNDS DESCRIPTION
144.645 ACRES (6,300,731 SQ.FT.)

BEING A TRACT CONSISTING OF 144.645 ACRES (6,300,731 SQ.FT.) OF LAND SITUATED IN THE RACHAEL SAUL SURVEY, ABSTRACT NO. 551, WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN 147.142-ACRE TRACT AS RECORDED IN VOLUME 928, PAGE 609, WILLIAMSON COUNTY DEED RECORDS (W.C.D.R.), WILLIAMSON COUNTY, TEXAS. SAID 144.645-ACRE (6,300,731 SQ.FT.) TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE:

BEGINNING at an iron rod found at the corner of a fence at the intersection of the west right-of-way line of Tom Kemp Lane, as shown on a map of the Ric & Terri Subdivision and as recorded in Cabinet D, Slides 155 and 156 of the Williamson County Plat Records located in Volume 1321, Page 230, and the northern right-of-way line of the Southern Pacific Railroad (100 feet wide) recorded in Volume 33, Page 565, W.C.D.R., same being the southeast corner of said 147.142-acre tract;

THENCE, along the northern fenced right-of-way line of said Southern Pacific Railroad, the following six courses:

1. South 84°42'30" West, 928.81 feet to a 1/2-inch iron rod set;
2. South 84°42'30" West, 928.80 feet to a 1/2-inch iron rod set;
3. South 84°42'30" West, 928.80 feet to a 1/2-inch iron pipe found;
4. South 85°06'00" West, 99.40 feet to a 1/2-inch iron pipe found;
5. South 85°45'56" West, 99.13 feet to a 1/2-inch iron pipe found;
6. South 87°01'56" West, 60.95 feet to a 1/2-inch iron rod found for the southeast corner of a 2.4921-acre City of Austin (Jollyville Substation) tract, as recorded in Volume 1201, Page 231, W.C.D.R.

THENCE, departing said northerly right-of-way line, North 01°12'44" West, 377.70 feet along the east line of said Substation tract to a 1/2-inch iron rod found for corner;

THENCE, South 88°45'43" West, 351.97 feet to a 1/2-inch iron rod found for the northwest corner of said Substation tract and in the west line of said 147.142-acre tract;

THENCE, North 21°25'30" West, 26.38 feet to a 1/2-inch iron pipe found;

THENCE, North 86°07'45" West, 211.56 feet to an iron pipe found;

THENCE, along the common boundary line with a 320-acre tract recorded in Volume 441, Page 614, of W.C.D.R., and the herein-described tract, the following eighteen courses:

1. North 21°14'40" West, 232.27 feet to an iron pipe found;
2. North 19°41'04" West, 266.44 feet to an iron pipe found;
3. North 21°32'33" West, 240.58 feet to an iron pipe found;
4. North 20°45'47" West, 271.40 feet to an iron pipe found for the northwest corner of the herein-described tract;
5. North 70°05'39" East, 268.84 feet to an iron pipe found;
6. North 71°42'09" East, 107.41 feet to an iron pipe found;
7. North 69°09'18" East, 185.32 feet to an iron pipe found;
8. North 69°51'51" East, 507.69 feet to an iron pipe found;

9. North 67°56'14" East, 123.54 feet to an iron pipe found;
10. North 74°18'36" East, 60.88 feet to an iron pipe found;
11. North 66°48'35" East, 55.31 feet to an iron pipe found;
12. North 69°20'16" East, 92.24 feet to an iron pipe found;
13. North 68°38'28" East, 80.56 feet to an iron pipe found;
14. North 69°30'56" East, 1187.34 feet to an iron pipe found;
15. North 78°46'50" East, 66.45 feet to an iron pipe found;
16. North 67°44'35" East, 81.63 feet to an iron pipe found;
17. North 70°26'13" East, 249.89 feet to an iron pipe found;
18. North 69°18'10" East, 301.50 feet to an iron pipe found;

in the west right-of-way line of said Tom Kemp Lane;

THENCE, along the westerly right-of-way line of said Tom Kemp Lane, the following four courses:

1. South 19°45'52" East, 548.00 feet to an iron pipe found;
2. South 20°27'36" East, 472.40 feet to an iron pipe found;
3. South 19°26'49" East, 342.62 feet to an iron pipe found;
4. South 19°55'34" East, 1019.57 feet to the POINT OF BEGINNING, containing a computed area of 144.645 acres (6,300,731 sq.ft.) of land.

Larry L. Conwell
Registered Public Surveyor
Texas Registration No. 4002

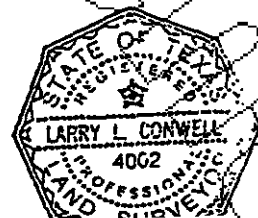
Turner Collie & Braden Inc.
Austin, Texas
Job No. 72-07490-000-0016
July 1990

BSB CA#:EI 02330

REVISED AND UPDATED: 4-24-92

RECORDERS MEMORANDUM

All or parts of the text on this page was not
clearly legible for satisfactory recordation.



TRACT 2
METES AND BOUNDS DESCRIPTION
515.915 ACRES (22,473,258 SQ.FT.)

BEING A TRACT CONSISTING OF 515.915 ACRES (22,473,258 SQ.FT.) OF LAND SITUATED IN THE RACHAEL SAUL SURVEY, ABSTRACT NO. 551, AND THE THOMAS P. DAVY SURVEY, ABSTRACT NO. 169, WILLIAMSON COUNTY, TEXAS, AND BEING ALL OF THE LAND RECORDED IN VOLUMES 917, 1075, 1035, AND 942, PAGES 401, 823, 557, AND 266, RESPECTIVELY, ALL OF WHICH APPEAR IN THE WILLIAMSON COUNTY DEED RECORDS (W.C.D.R.), WILLIAMSON COUNTY, TEXAS. SAID 515.915-ACRE (22,473,258 SQ.FT.) TRACT INCLUDES THE FOLLOWING RECORDED SUBDIVISIONS; 17.058 ACRES IN DAVIS SPRING SECTION TWO, CABINET H, SLIDES 64-65; 24.000 ACRES IN DAVIS SPRING SECTION THREE, CABINET H, SLIDES 66-68; 16.39 ACRES IN DAVIS SPRING SECTION FOUR, CABINET H, SLIDES 69-71; 28.658 ACRES IN DAVIS SPRING SECTION FIVE, CABINET H, SLIDES 72-75; 25.568 ACRES IN DAVIS SPRING SECTION SIX, CABINET H, SLIDES 92-94; 40.2765 ACRES IN DAVIS SPRING SECTION SEVEN, CABINET H, SLIDES 98-99; ALL RECORDED IN WILLIAMSON COUNTY PLAT RECORDS; SAID 515.915-ACRE TRACT (22,473,258 SQ.FT.) BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS AND COORDINATES REFERENCED TO TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE:

BEGINNING at an iron rod found at the northwest corner of the Ric & Terri Subdivision recorded in Cabinet D, Slides 155-156, and located in Volume 1321, Page 230, W.C.D.R., being the northwest corner of the north end of Tom Kemp Lane (50 feet wide), same being the southwest corner of said 201.53-acre tract recorded in Volume 793, Page 536, W.C.D.R., same being the southwest corner of a 20.71-acre out tract recorded in said Volume 917, Page 401;

THENCE, North 67°57'00" East, along a line common with the south line of said 20.71-acre out tract and the north line of said Ric & Terri Subdivision, at 50.01 feet pass the northeast corner of said Tom Kemp Lane continuing in all a total distance of 1013.19 feet to the west line of said Section Four;

THENCE, North 20°09'31" West, 936.97 feet along the line common with the east line of said 20.71-acre out tract and the west line of said Section Four to a pipe found for the northeast corner of said out tract;

THENCE, South 67°57'00" West, 1013.20 feet along the north line of said out tract to an iron pipe in the west line of said 201.53-acre tract and the east line of a 320-acre tract recorded in Volume 441, Page 614, W.C.D.R., same being the northwest corner of said out tract;

THENCE, along a line that is common with the boundary of said 320-acre tract and said 201.53-acre tract, the following three courses:

1. North 20°54'38" West, 327.44 feet to an iron rod found;
2. North 19°52'20" West, 1090.61 feet to an iron rod found;
3. North 20°03'04" West, 817.70 feet to an iron rod found for the northwest corner of the herein-described tract in the northerly line of said Rachael Saul Survey, and the southerly line of Samuel Daymon Survey, Abstract No. 170;

THENCE, along said survey line, same being the northerly property line of the herein-described tract, the following seven courses:

1. North 67°24'04" East, 220.66 feet to a nail found in a 9-inch Live Oak tree;
2. North 67°01'27" East, 81.38 feet to a nail found in a 13-inch Cedar tree;
3. North 67°45'56" East, 144.56 feet to a nail found in an 8-inch Elm tree;
4. North 68°43'47" East, 389.52 feet to a nail found in a 13-inch Cedar tree;
5. North 70°09'09" East, 247.20 feet to a nail found in a 13-inch Live Oak tree;
6. North 68°47'12" East, 284.84 feet to a nail found in an 11-inch Live Oak tree;
7. North 68°59'27" East, 341.09 feet to a nail found in a 38-inch Live Oak tree, being the southeasterly corner of said Samuel Daymon Survey, and the southwesterly corner of John H. Dillard Survey, Abstract No. 179;

THENCE, North 69°01'34" East, 1067.71 feet along the survey line between said John H. Dillard Survey and said Rachael Saul Survey to an axle found two feet above ground for corner;

THENCE, departing said survey line and along a line common to the westerly boundary line of a 211-acre tract of land as recorded in Volume 340, Page 440, W.C.D.R., and the easterly line of the herein-described tract, the following four courses:

1. South 19°52'55" East, 415.44 feet to an iron rod found;
2. South 19°56'39" East, 883.96 feet to an iron rod found;
3. South 19°47'49" East, 1415.46 feet to an iron rod found;
4. South 20°01'45" East, 459.40 feet to an iron rod found for the southwest corner of said 211-acre tract;

THENCE, along a line common to the southerly line of said 211-acre tract and the northerly line of the herein-described tract, the following two courses:

1. North 68°56'57" East, 1312.34 feet to an iron rod set;
2. North 68°56'57" East, 753.84 feet to an iron rod found for the most easterly northeast corner of the herein-described tract;

THENCE, along a line that is common with a 45.14-acre tract of land recorded in Volume 667, Page 315, W.C.D.R., and the easterly line of the herein-described tract, the following three courses:

1. South 17°54'18" East, 1246.10 feet to an iron rod set;
2. South 17°54'18" East, 860.20 feet to an iron rod set;
3. South 17°54'18" East, 776.95 feet to an iron rod found in the northerly property line of a 465.5-acre tract recorded in Volume 359, Page 939, W.C.D.R. for the most easterly corner of the herein-described tract;

THENCE, along a line that is common with said 465.5-acre tract and a southerly line of the herein-described tract, the following ten courses:

1. South 68°50'25" West, 590.43 feet to an iron rod found;
2. South 68°45'53" West, 1286.39 feet to an iron rod set;
3. South 68°45'53" West, 667.64 feet to an iron rod found;
4. South 68°15'50" West, 322.41 feet to an iron rod found;
5. South 21°32'13" East, 578.63 feet to an iron rod found;
6. South 69°16'40" East, 1179.63 feet to an iron rod found;
7. South 10°31'40" East, 19.80 feet to an iron rod found;
8. South 80°14'40" East, 36.87 feet to an iron rod found;
9. North 83°40'26" East, 21.80 feet to an iron rod found;

10. South 69°16'40" West, 401.29 feet to an iron rod found in the northerly right-of-way line of R.M. Highway No. 620;

THENCE, South 68°17'58" West, 380.00 feet along said northerly right-of-way line of said R.M. Highway No. 620 to an iron rod found at the intersection with the northeasterly right-of-way line of the Southern Pacific Railroad (100 feet wide) recorded in Volume 33, Page 565, W.C.D.R.;

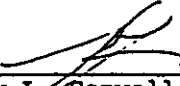
THENCE, along said northeasterly right-of-way line of said railroad, the following four courses:

1. North 69°16'40" West, 432.04 feet to an iron rod set;
2. North 69°16'40" West, 950.00 feet to an iron rod found for the beginning of a curve to the left;
3. 1378.29 feet along said curve to the left having a radius of 3035.36 feet, a central angle of 26°01'00", and a chord bearing and distance of North 82°17'10" West, 1366.48 feet to an iron rod found for the point of tangency;
4. South 84°42'20" West, 455.26 feet to an iron rod found at the intersection of said northerly right-of-way line of the Southern Pacific Railroad and the easterly right-of-way line of said Tom Kemp Lane;

THENCE departing the northerly right-of-way line of said Southern Pacific Railroad, the following four courses:

1. North 19°52'57" West, 1589.12 feet to an iron rod found;
2. North 19°52'57" West, 573.83 feet to an iron rod found;
3. North 19°52'57" West, 701.02 feet to an iron rod found at the northeast corner of said Tom Kemp Lane;
4. South 67°57'00" West, 50.01 feet along the north end of said Tom Kemp Lane to the POINT OF BEGINNING, containing a computed area of 515.915 acres (22,473,258 sq.ft.) of land.

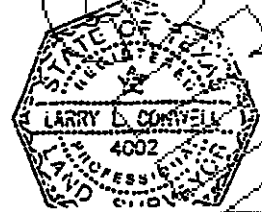
SAVE AND EXCEPT: 1.94 ACRES RECORDED IN VOLUME 1587, PAGE 258
AND 12.227 ACRES RECORDED IN VOLUME 1796, PAGE 485 WILLIAMSON
COUNTY DEED RECORDS..


Larry L. Conwell
Registered Public Surveyor
Texas Registration No. 4002

Turner Collie & Braden Inc.
Austin, Texas
Job No. 72-07490-000-0016
July 1990
BSB CA7:EI 02330
REVISED AND UPDATED: 4-24-92

RECORDERS MEMORANDUM

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clearly legible for satisfactory recordation.



TRACT 3
METES AND BOUNDS DESCRIPTION
10.00 ACRES (435,600 SQ.FT.)

BEING A TRACT CONSISTING OF 10.00 ACRES (435,600 SQ.FT.) OF LAND SITUATED IN THE THOMAS P. DAVY SURVEY, ABSTRACT NO. 169, AND IN THE RACHAEL SAUL SURVEY, ABSTRACT NO. 551, WILLIAMSON COUNTY, TEXAS, BEING ALL OF A 10.00-ACRE TRACT AS CONVEYED TO PHIL MOCKFORD, TRUSTEE, AND RECORDED IN VOLUME 952, PAGE 72, WILLIAMSON COUNTY DEED RECORDS (W.C.D.R.). SAID 10.00-ACRE TRACT INCLUDES A 1.975-ACRE SUBDIVISION KNOWN AS DAVIS SPRING SECTION ONE, RECORDED IN CABINET H, SLIDE 63, OF THE WILLIAMSON COUNTY PLAT RECORDS, WILLIAMSON COUNTY, TEXAS. SAID 10.00 ACRES (435,600 SQ.FT.) BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE:

BEGINNING at an iron pin found at the intersection of the north right-of-way line of R.M. Highway No. 620 and the south right-of-way line of the Southern Pacific Railroad recorded in Volume 33, Page 565, W.C.D.R., same being the southeast corner of the herein described tract;

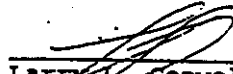
THENCE, South $68^{\circ}17'58''$ West, 976.39 feet along the north right-of-way line of said R.M. Highway No. 620 to an iron rod found for the southwest corner of the herein described tract;

THENCE, departing the north right-of-way line of said R.M. Highway No. 620, North $21^{\circ}42'20''$ West, 891.84 feet to a point in the south right-of-way line of said Southern Pacific Railroad in the arc of a non-tangent curve to the right;

THENCE, 46.85 feet southeasterly along the arc of said curve to the right and said south right-of-way line of Southern Pacific Railroad having a radius of 2935.36 feet, a central angle of $00^{\circ}54'52''$, and a chord bearing and distance of South $69^{\circ}44'06''$ East, 46.85 feet to an iron rod found for the point of tangency;

THENCE, South $69^{\circ}16'40''$ East, 1275.60 feet along the south right-of-way line of said Southern Pacific Railroad to the POINT OF BEGINNING, containing a computed area of 10.00 acres (435,600 sq.ft.) of land.

SAVE AND EXCEPT: 2.699 ACRES RECORDED IN VOLUME 1587, PAGE 272 WILLIAMSON COUNTY DEED RECORDS.


Larry L. Conwell
Registered Public Surveyor
Texas Registration No. 4002

Turner Collie & Braden Inc.
Austin, Texas
Job No. 72-07490-000-0016
July 1990
BSB CAP: EI 02330
REVISED AND UPDATED: 4-24-92

FILED AND RECORDED
OFFICIAL PUBLIC RECORDS



07-16-2002 02:08 PM 2002053872
SUSAN \$265.00
NANCY E. RISTER, COUNTY CLERK
WILLIAMSON COUNTY, TEXAS

RECORDERS MEMORANDUM

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